

STANDARD NOTES

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS(S) OF THE SITE PLAN KNOWN AS SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS SITE PLAN, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

EMERGENCY ACCESS

EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN THE CITY OF CENTENNIAL, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN ARE NOT IN CONFORMANCE WITH THE CITY OF CENTENNIAL ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE CITY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE CITY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE LIABILITY

IT IS THE POLICY OF THE CITY OF CENTENNIAL AND SEMSWA THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED BY OWNER. THE CITY OF CENTENNIAL AND SEMSWA REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 31, ARTICLE 23, BUT CANNOT, ON BEHALF OF SOUTH SUBURBAN PARK AND RECREATION DISTRICT, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE SOUTH SUBURBAN PARK AND RECREATION DISTRICT AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF THE CITY OF CENTENNIAL AND SEMSWA THAT APPROVAL OF THE FINAL PLAT AND/OR SITE PLAN DOES NOT IMPLY APPROVAL OF OWNER'S DRAINAGE DESIGN.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN THE CITY OF CENTENNIAL IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN THE CITY OF CENTENNIAL, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

PUBLIC IMPROVEMENTS

AFTER SITE PLAN APPROVAL, ISSUANCE OF DEVELOPMENT ORDERS OR PERMITS SHALL BE SUBJECT TO THE REQUIREMENTS OF SECTION 12-14-207 OF THE 2011 LAND DEVELOPMENT CODE, REQUIRING A PUBLIC IMPROVEMENT AGREEMENT IN A FORM APPROVED BY THE CITY ATTORNEY AND EXECUTED BY THE CITY MANAGER OR HIS OR HER DESIGNEE. THE PUBLIC IMPROVEMENT AGREEMENT SHALL REQUIRE THE APPLICANT TO SUBMIT FINANCIAL SECURITY FOR THE REQUIRED PUBLIC IMPROVEMENTS IN ACCORDANCE WITH THE PROVISIONS OF THE PUBLIC IMPROVEMENT AGREEMENT AND IN AN AMOUNT AND FORM SUFFICIENT TO ADEQUATELY ENSURE TIMELY COMPLETION OF THE PUBLIC IMPROVEMENTS IN ACCORDANCE WITH THE CITY'S ADOPTED CODES, ORDINANCES, REGULATIONS AND STANDARDS. FINANCIAL SECURITY SHALL BE PROVIDED TO THE CITY PRIOR TO AND AS A CONDITION OF THE ISSUANCE OF A DEVELOPMENT ORDER OR PERMIT.

SPECIFIC NOTES

SIGHT TRIANGLE MAINTENANCE (PER SECTION 12-11-208)
IN ACCORDANCE WITH SECTION 12-11-208 OF THE CITY LAND DEVELOPMENT CODE, THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS BETWEEN A HEIGHT OF THREE FEET (3') AND EIGHT FEET (8') ABOVE THE ELEVATION OF THE STREET CENTERLINE WITHIN SAID SIGHT TRIANGLE.

STREET LIGHTING

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN IN ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

DEVELOPMENT STANDARDS	REQUIRED	PROPOSED LU-16-00169
ZONING	OPEN SPACE AND REC	OPEN SPACE AND REC
PARCEL AREA AND LOT WIDTH	N/A	TRACT A & B - 207.354 AC
PERMITTED USES	OUTDOOR RECREATION, OTHERS	GOLF COURSE AND PARK
MAX BUILDING HEIGHT	35 FT	21 FT
MINIMUM BUILDING SETBACKS	1 FT PER FT OF BLDG HEIGHT	VARY, GREATER THAN 35 FT
MINIMUM PARKING SETBACKS	N/A	-
MAX BLDG COVERAGE (IF APPLICABLE)	N/A	-
PARKING RATIOS	* SEE BELOW	203 SPACES PROVIDED
ADA PARKING	7 (BASED ON 201 TO 300 TOTAL)	8 PROVIDED (2 VAN)
BICYCLE PARKING	1 PER 15 VEHICLE SPACES	14 BICYCLE SPACES
LOADING ZONE (IF REQUIRED)	-	N/A
LIGHTING ZONE/MAX POLE HEIGHT	LZ1	-
LANDSCAPE SURFACE RATIO	NOT SPECIFIED IN CODE	N/A

* 9 SPACES PER HOLE PLUS EMPLOYEE PARKING AT MAX. SHIFT/PARKING FOR RESTAURANT IS 1 PER 250 SF.

CASE NUMBER: LU-16-00169

SITE PLAN

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



*THIS MAP IS PROVIDED BY GOOGLE EARTH PRO AND IS USED FOR PROJECT REFERENCE ONLY. IT IS TO BE USED ONLY FOR PURPOSES PERMITTED BY ANY APPLICABLE LAW AND THE TERMS OF THE LICENSE AGREEMENT BETWEEN MARTIN/MARTIN, INC. AND GOOGLE. THIS MAP MAY NOT BE COPIED OR MODIFIED.

VICINITY MAP

SCALE 1"=2,000'

OWNER

SOUTH SUBURBAN PARK AND RECREATION DISTRICT

ZONING

OPEN SPACE AND RECREATION (OSR)

PRESENT USE OF PROPERTY AND ADJOINING PROPERTY

GOLF COURSE (SOUTH SUBURBAN GOLF COURSE)
PARK (LINKSVIEW PARK)

PROPERTIES ADJOINING THE GOLF COURSE ARE RESIDENTIAL

LEGAL DESCRIPTION

TRACTS A AND B SOUTH SUBURBAN GOLF COURSE, FILING NO. 1

CERTIFICATE OF OWNERSHIP

I, ROB HANNA, EXECUTIVE DIRECTOR, HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOW AS THE SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS SITE PLAN, PS-16-00134.

OWNER OF RECORD OR AUTHORIZED AGENT

STATE OF _____} S.S.
COUNTY OF _____}

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____DAY

OF _____, 20__ BY _____

AS (Title) OF _____AN AUTHORIZED SIGNATORY.

BY _____ WITNESS MY HAND AND SEAL
NOTARY PUBLIC

MY COMMISSION EXPIRES _____
ADDRESS

CITY _____ STATE _____ ZIP CODE _____

PLANNING AND ZONING COMMISSION APPROVAL

APPROVED BY THE CITY OF CENTENNIAL PLANNING AND ZONING COMMISSION ON THIS ____ DAY OF _____ A.D., 20____.

CHAIRPERSON: _____

ATTEST: _____

CITY COUNCIL RATIFICATION

RATIFIED BY THE CITY OF CENTENNIAL CITY COUNCIL, THIS ____ DAY OF _____ A.D., 20____.

MAYOR: _____

ATTEST: _____

RECORDER'S CERTIFICATE

THIS PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ARAPAHOE COUNTY

AT _____ (A.M./P.M.) ON THE ____ DAY OF _____ A.D., 20____

IN BOOK _____, PAGE _____, MAP _____.

RECEPTION NO. _____

COUNTY CLERK AND RECORDER

BY _____ DEPUTY

AMENDMENT HISTORY

NONE

Sheet List Table	
Sheet Number	Sheet Title
01	COVER
02	BOUNDARY MAP
03	EXISTING CONDITIONS PLAN
04	DEMOLITION PLAN
05	SITE PLAN
06	GRADING PLAN
07	UTILITY PLAN
08	DETAILS
09	LANDSCAPE PLAN
10	LANDSCAPE DETAILS
11	LANDSCAPE DETAILS
12	CLUBHOUSE ELEVATIONS
13	CLUBHOUSE ELEVATIONS
14	CART BARN ELEVATIONS
15	SITE PHOTOMETRIC PLAN
16	LIGHTING SPECIFICATIONS
17	SHELTER ADDITIONS
18	SHELTER DETAILS

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:
SITE PLAN

COVER



BARKER
RINKER
SEACAT
ARCHITECTURE

3457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

JOB NO. 2015.017.020

SCALE

DATE SEPTEMBER 07, 2016

SHEETS

18

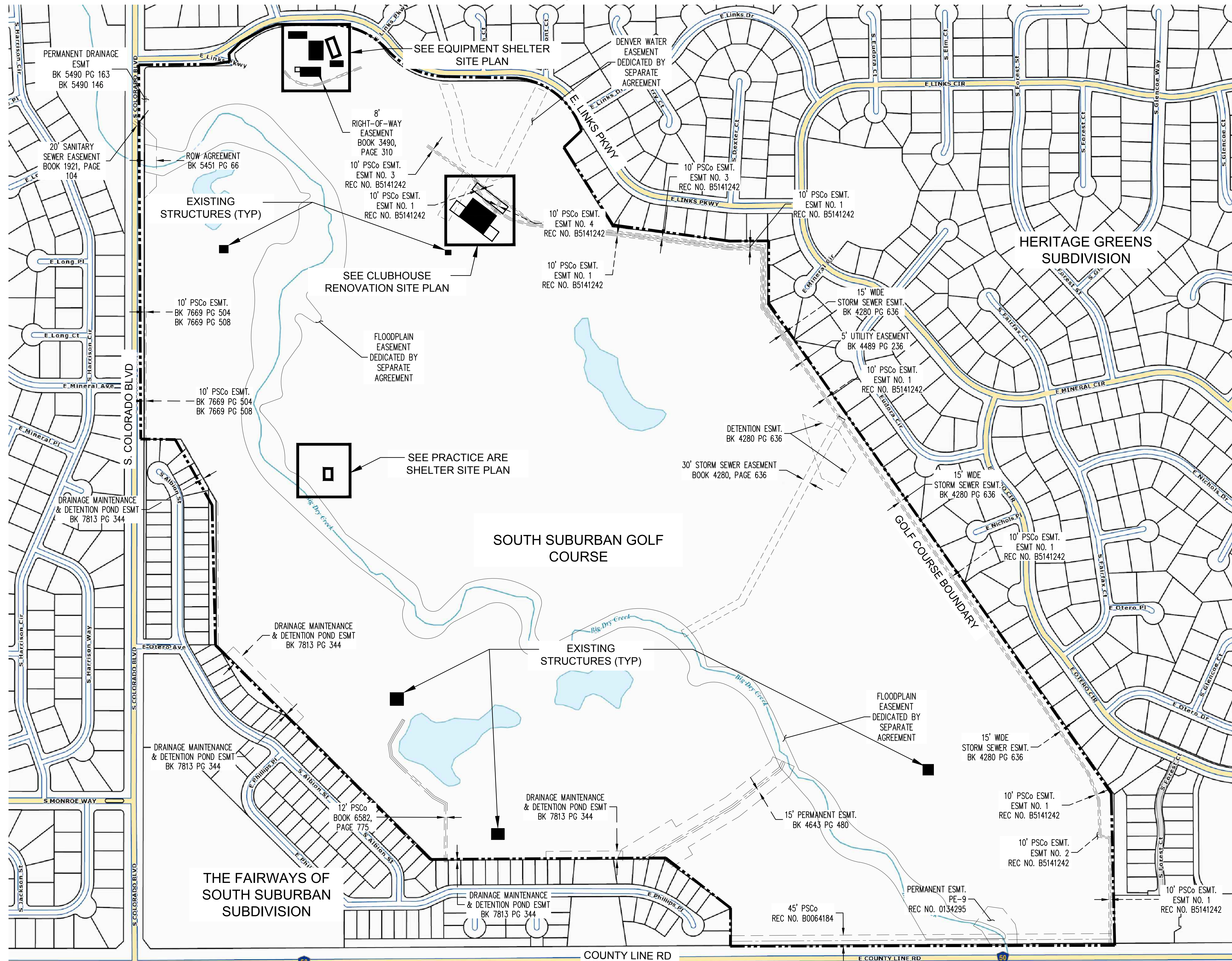
SHEET

01

SITE PLAN

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN

CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



CASE NO. LU-16-00169

REVISIONS		
By	Date	Description
SSPRO	9/7/16	2ND SUBMITTAL TO CITY OF CENTENNIAL
SSPRO	10/11/16	3RD SUBMITTAL TO CITY OF CENTENNIAL
SSPRO	11/1/16	4TH SUBMITTAL TO CITY OF CENTENNIAL

DRAWN	SPW
CHECKED	MRT
DESIGNED	MRT
FILENAME	1Sub-SSPG-SP

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:

BOUNDARY MAP

6

6631 S UNIVERSITY BLVD
CENTENNIAL, CO 80121
303-798-5131

JOB NO. 2015.017.020

SCALE $1" = 200'$

DATE JULY 06, 2016

SHEETS	SHEET
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18 | 02

SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- EASEMENT
- RETAINING WALL
- CURB & GUTTER
- CONTOURS
- STORM SEWER
- ROOF DRAIN
- STORM MANHOLE
- STORM INLET
- FLARED END SECTION
- SANITARY SEWER
- SANITARY MANHOLE
- CLEAN OUT
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- IRRIGATION CONTROL
- OVERHEAD ELECTRIC
- ELECTRIC LINE
- LIGHT POLE
- POWER POLE
- ELECTRIC METER
- TELEPHONE LINE
- TELEPHONE PEDESTAL
- CABLE TV
- GAS LINE
- MONITOR WELL
- SIGN
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH/SHRUB
- HANDICAP RAMPS
- DESCRIPTIONS

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:

SITE PLAN

EXISTING CONDITIONS PLAN



BARKER
RINKER
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SCALE

DATE: SEPTEMBER 07, 2016

SHEETS

18

SHEET

03

CASE NUMBER: LU-16-00169

20 10 0 20 40
SCALE: 1"=20'
ALL DIMENSIONS SHOWN ARE U.S. SURVEY FEET



UNCC Know what's below.
UTILITY NOTIFICATION
CENTER OF COLORADO Call before you dig.

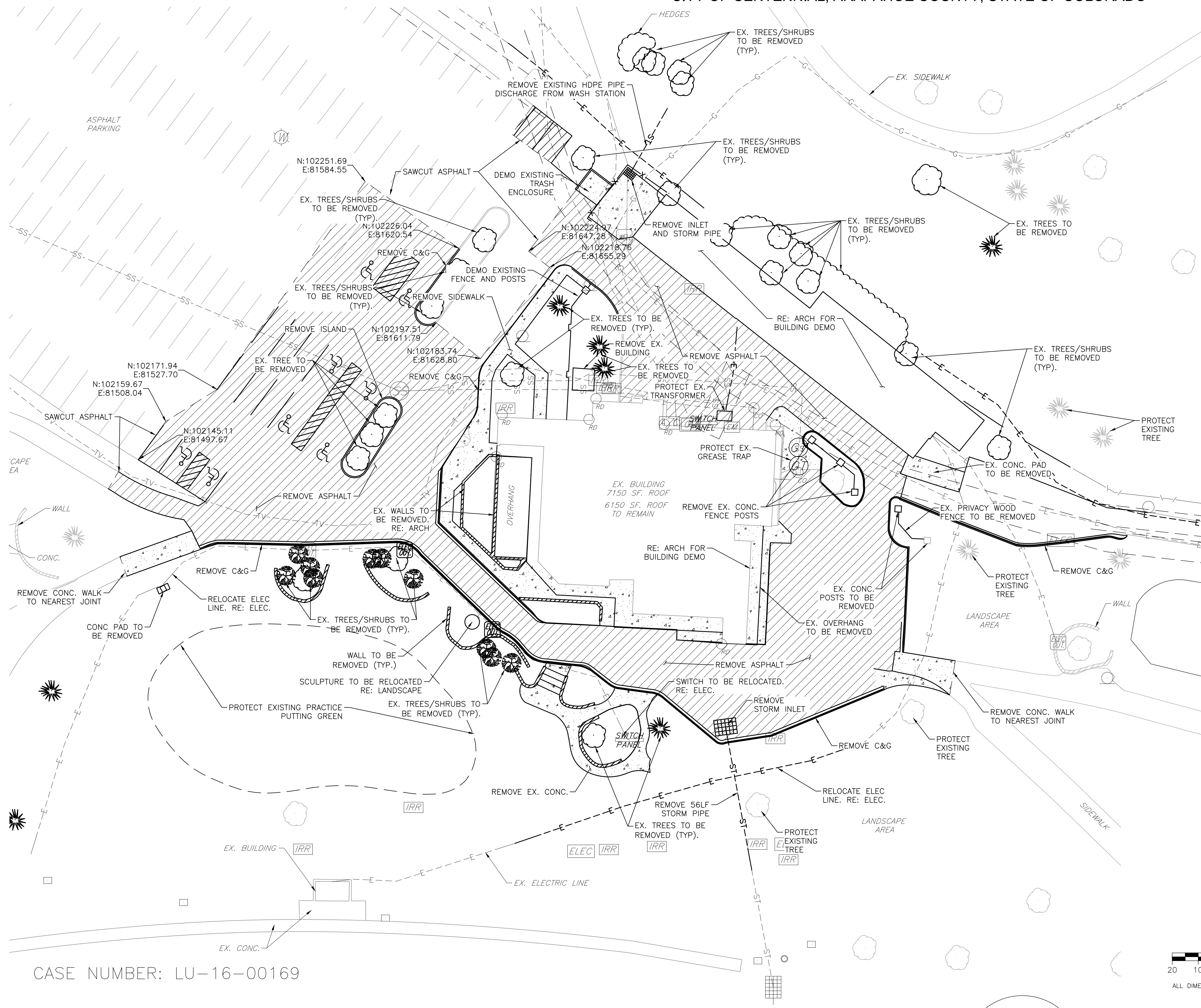


CALL 811 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR
MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY
LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN
PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,
THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE,
MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

SITE PLAN

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

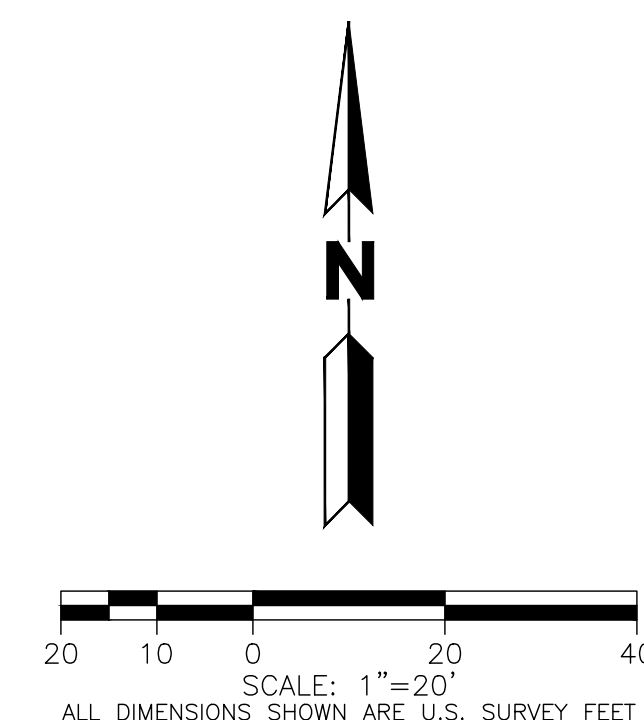


CASE NUMBER: LU-16-00169

<u>LEGEND</u>	
EXISTING	DEMOLITION
PROPERTY LINE	
RIGHT-OF-WAY LINE	
SECTION LINE	
EASEMENT	
RETAINING WALL	
CURB & GUTTER	
ASPHALT	
CONCRETE/ SIDEWALK	
CONTOURS	
STORM SEWER	
STORM MANHOLE	
STORM INLET	
FLARED END SECTION	
SANITARY SEWER	
SANITARY MANHOLE	
WATER LINE	
WATER VALVE	
FIRE HYDRANT	
WATER METER	
IRRIGATION LINE	
IRRIGATION CONTROL	
OVERHEAD ELECTRIC	
ELECTRIC LINE	
LIGHT POLE	
POWER POLE	
ELECTRIC METER	
TELEPHONE LINE	
TELEPHONE PEDESTAL	
CABLE TV	
SIGN	
DECIDUOUS TREE	
EVERGREEN TREE	
BUSH/SHRUB	
GAS LINE	
DRIVE	DRIVE
DESCRIPTIONS	

NOTES:

1. TREE PROTECTION FENCING IS REQUIRED AROUND ALL TREES TO REMAIN WITHIN THE CONSTRUCTION LIMITS.
2. RETAIN ALL EXISTING LANDSCAPE BOULDERS FOR RE-USE ON PROJECT. SEE LANDSCAPE.
3. RETAIN ALL EXISTING FLAGSTONE FROM DEMOLISHED STAIRS AND RETAINING WALLS FOR RE-USE ON PROJECT. SEE LANDSCAPE.
4. CONTRACTOR SHALL INSTALL FENCING AROUND EXISTING PRACTICE GREEN TO PROTECT AREAS OUTSIDE OF GRADING LIMITS.



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[illegible]

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS: SITE PLAN

DIET PLAN

DEMOLITION PLAN



457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

3 NO. **2015.017.020**

SALE	
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TE
SEPTEMBER 07, 2016

SHEETS	SHEET
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18 | 04

SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

LEGEND

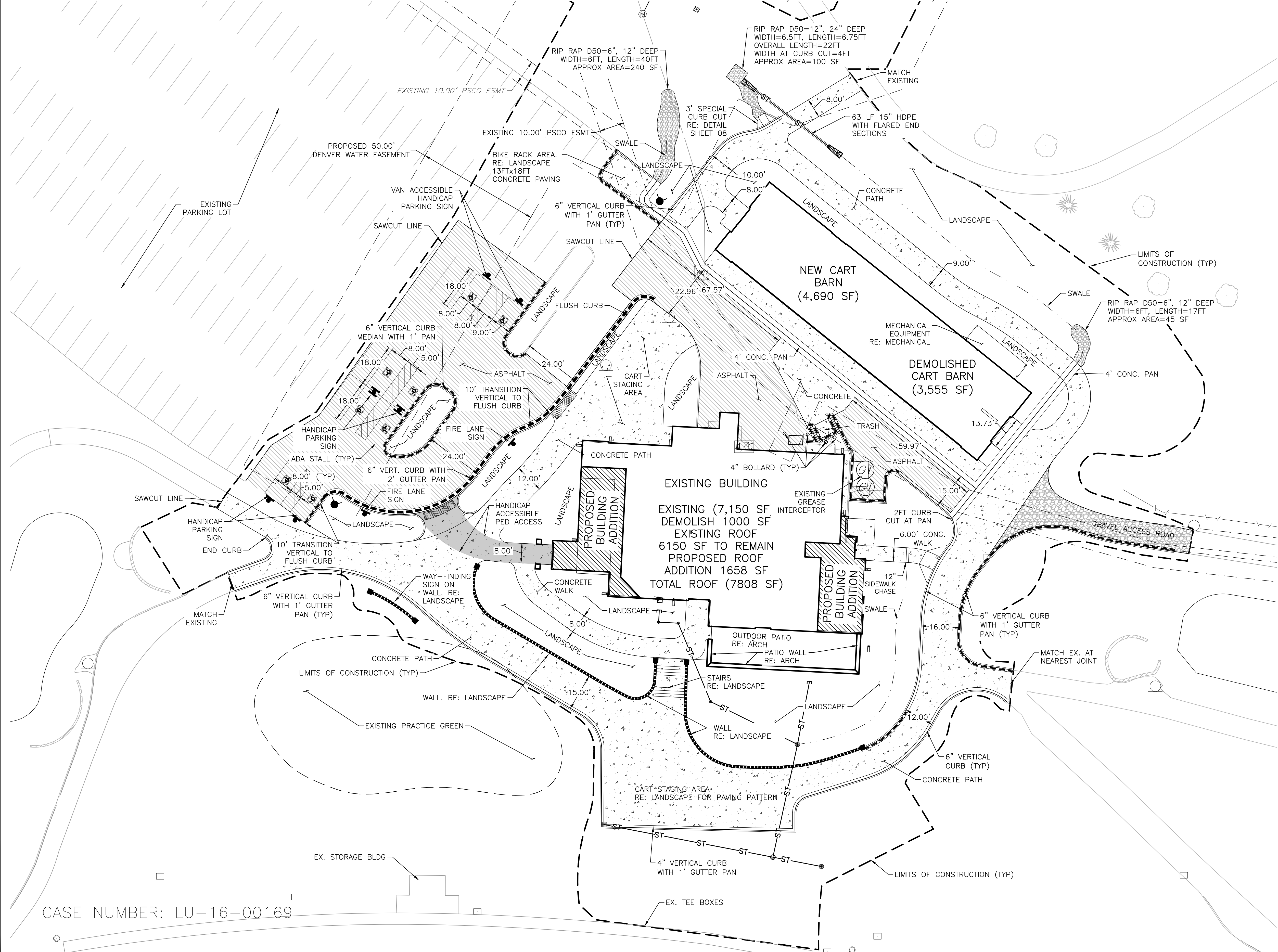
EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	CURB & GUTTER	---
---	VERTICAL CURB & GUTTER (SPILL)	---
---	VERTICAL CURB & GUTTER (CATCH)	---
---	GRAVEL DRIVE LANES	---
---	ASPHALT DRIVE LANES	---
---	CONCRETE/ SIDEWALK	---
---	SWALE	---
---	HANDICAP RAMPS	---
---	SIGN	---
---	DRIVE	---
---	DRIVE	---

BUILDING SETBACK DISTANCES (FT)		
	CLUBHOUSE	CART BARN
NORTH	530	414
SOUTH	2534	2610
WEST	444	320
EAST	1345	1340

SITE PLAN NOTES:

THE **CLUBHOUSE MINOR ADDITION** INCLUDES ADDING A NEW MAIN ENTRANCE ON THE WEST SIDE OF THE BUILDING, A NEW DINING ADDITION ON THE EAST SIDE OF THE BUILDING, AND SOME EXTERIOR ENHANCEMENTS. CLUBHOUSE GROSS SQUARE FOOTAGE IS 7764 S.F. WITH ADDITION AREAS COMPRISING 1660 S.F. OF THE TOTAL AREA. THE MAXIMUM HEIGHT OF THE BUILDING IS 21'-0" ABOVE FINISH FLOOR WHICH IS AN EXISTING PART OF THE STRUCTURE. SEE SHEETS 6 AND 7 FOR BUILDING ELEVATIONS.

THE **CART BARN STORAGE BUILDING** INCLUDES REMOVING THE EXISTING 3800 S.F. CART BARN BUILDING AND REPLACING IT WITH A 4624 S.F. CART BARN BUILDING IN APPROXIMATELY THE SAME LOCATION. MAXIMUM HEIGHT OF THE CART BARN IS 19'-6" ABOVE FINISH FLOOR. SEE SHEET 8 FOR ELEVATIONS.



CASE NUMBER: LU-16-00169

North arrow pointing up.

Scale: 1"=20'

ALL DIMENSIONS SHOWN ARE U.S. SURVEY FEET

UNCC Know what's below. Call before you dig.

811 logo

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:
SITE PLAN
SITE PLAN



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JOB NO.	2015.017.020
SCALE	
DATE	SEPTEMBER 07, 2016
SHEETS	18
SHEET	05

SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

LEGEND

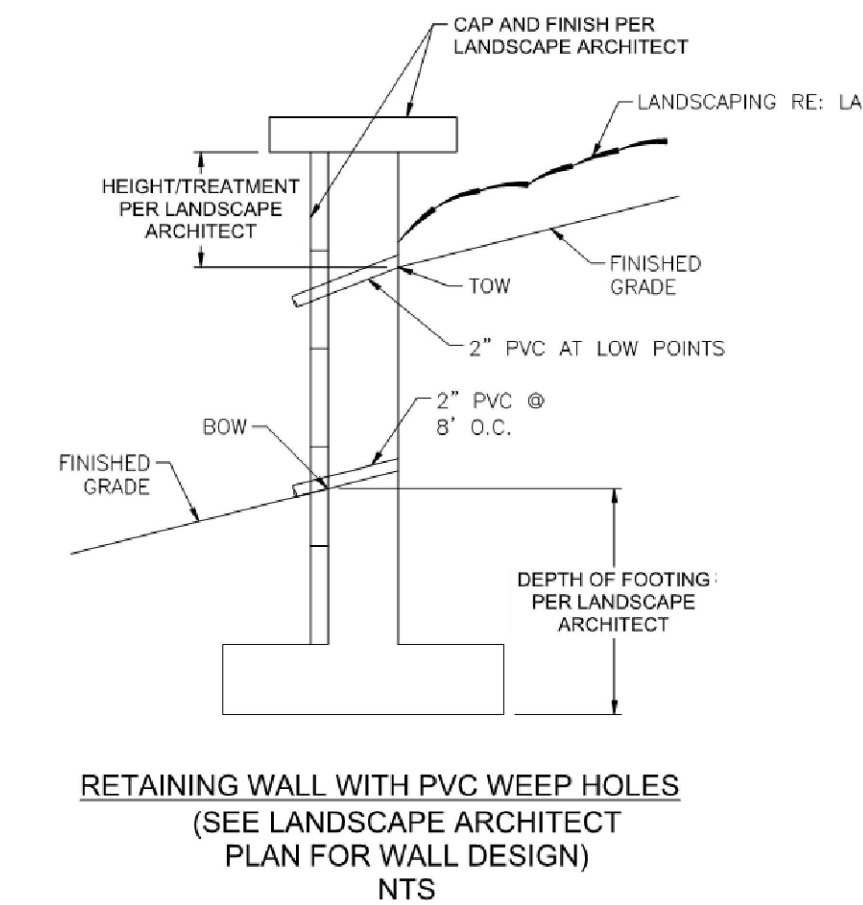
EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	LIMITS OF CONSTRUCTION	---
---	EASEMENT	---
---	RETAINING WALL	---
---	CURB & GUTTER	---
---	CONTOURS	---
---	STORM SEWER	---
---	STORM MANHOLE	---
---	ROOF DRAIN	---
---	INLET	---
---	FLARED END SECTION	---
---	SIGN	---
---	GRADING ARROW	---
---	DECIDUOUS TREE	---
---	EVERGREEN TREE	---
---	BUSH/SHRUB	---
---	DRIVE	---
---	SPOT ELEVATIONS	---

GENERAL NOTES:

- ALL ELEVATIONS ARE TO FLOWLINE OR EDGE OF WALK UNLESS NOTED OTHERWISE.
- SEE SWALE DIMENSIONS TABLE ON SHEET 08.

ABBREVIATIONS:

TOW=TOP OF WALL [FINISHED GRADE AT TOP OF WALL],
BOW=BOTTOM OF WALL [FINISHED GRADE AT BOTTOM OF WALL],
HP=HIGH POINT, LP=LOW POINT, FL=FLOW LINE, FFE=FINISHED FLOOR ELEV., TBC=TOP BACK OF CURB, WALK=SIDEWALK



RETAINING WALL WITH PVC WEEP HOLES
(SEE LANDSCAPE ARCHITECT
PLAN FOR WALL DESIGN)
NTS

BENCHMARK

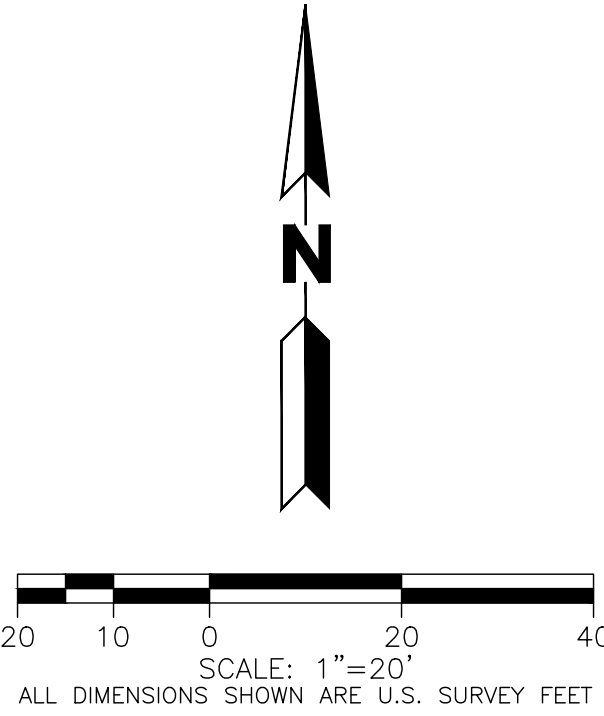
ELEVATIONS ARE BASED ON THE COUNTY OF ARAPAHOE VERTICAL CONTROL NETWORK STATION NAME #45, BEING THE SOUTHEAST CORNER OF SECTION 25, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN A FOUND 3-1/4" ALUMINUM CAP IN ARAPAHOE COUNTY RANGE BOX ILLEGIBLE.

ELEVATION = 5647.00 FEET (NGVD1929) DATUM.
TO CONVERT ELEVATIONS ON THIS DRAWING TO NAVD 88, ADD 3.07 FEET.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE COUNTY OF ARAPAHOE HORIZONTAL CONTROL NETWORK BEARING N00°05'19"E ALONG THE WESTERLY LINE OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN AND BEING MONUMENTED BY FOUND 3-1/4" ALUMINUM CAP IN RANGE BOX PLS #26958 AT THE WEST QUARTER CORNER AND A FOUND 3-1/4" ALUMINUM CAP ILLEGIBLE AT THE NORTHWEST CORNER.

CASE NUMBER: LU-16-00169



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UTILITY NOTIFICATION CENTER OF COLORADO Call before you dig.



CALL 811 2-BUSINESS DAYS IN ADVANCE
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MARKING OF UNDERGROUND MEMBER UTILITIES

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SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:

SITE PLAN

GRADING PLAN



BARKER
RINKER
SEACAT
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(303) 455 - 1366

JOB NO. 2015.017.020

SCALE

DATE SEPTEMBER 07, 2016

SHEETS

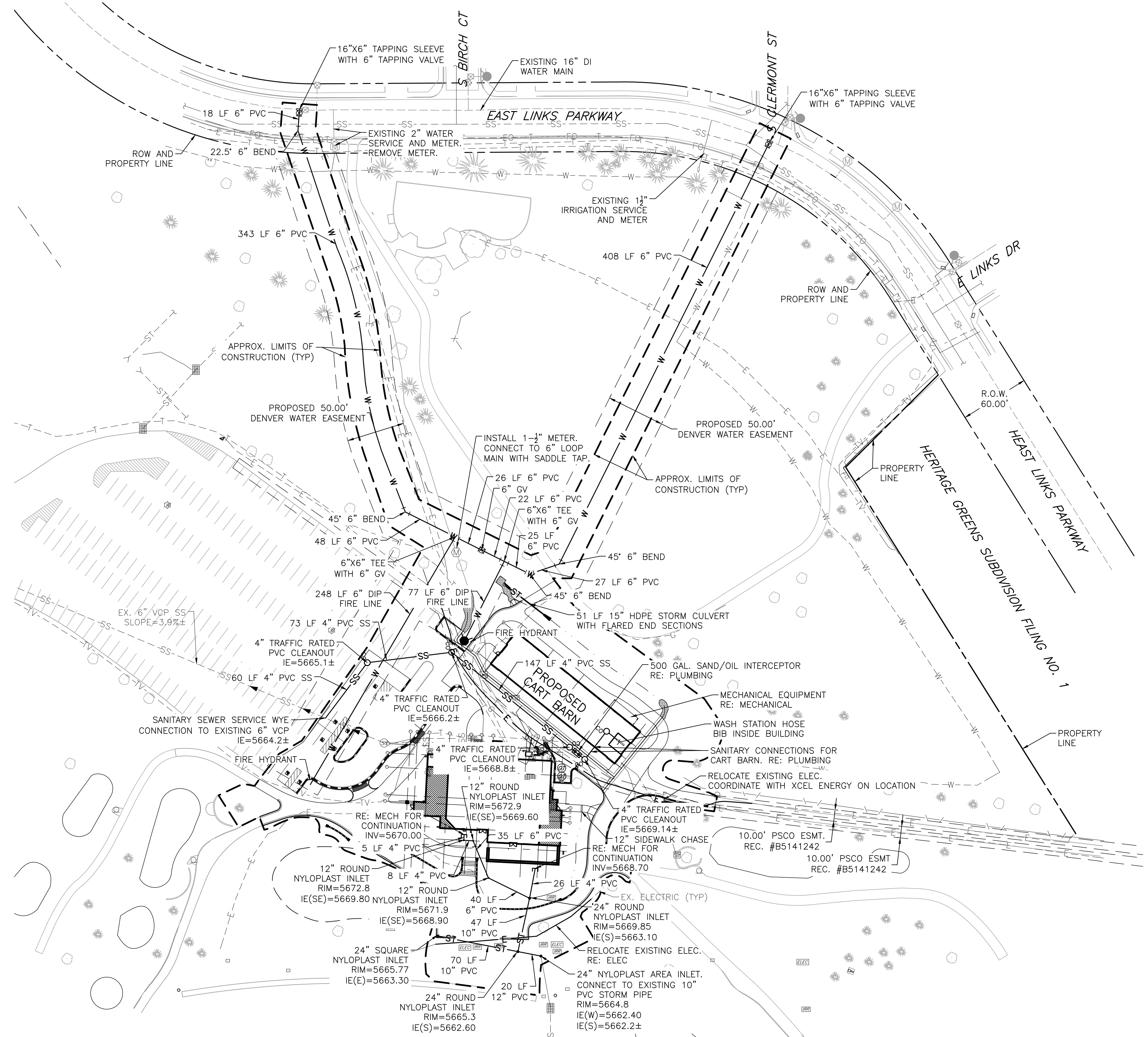
18

SHEET

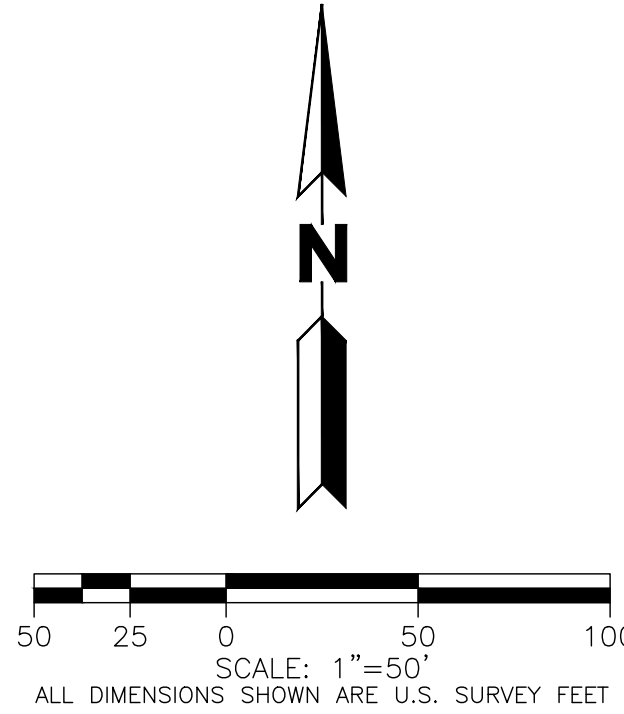
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SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SECTION LINE
	EASEMENT
	RETAINING WALL
	CURB & GUTTER
	HANDICAP RAMPS
	UTILITY CROSSING
	STORM SEWER
	STORM MANHOLE
	ROOF DRAIN
	STORM INLET
	FLARED END SECTION
	SANITARY SEWER
	SANITARY MANHOLE
	CLEAN OUT
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	IRRIGATION LINE
	IRRIGATION CONTROL
	OVERHEAD ELECTRIC
	ELECTRIC LINE
	LIGHT POLE
	POWER POLE
	ELECTRIC METER
	TELEPHONE LINE
	TELEPHONE PEDESTAL
	CABLE TV
	GAS LINE
	SIGN
	MONITOR WELL
	DRIVE
DRIVE	DRIVE





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SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:
SITE PLAN
UTILITY PLAN

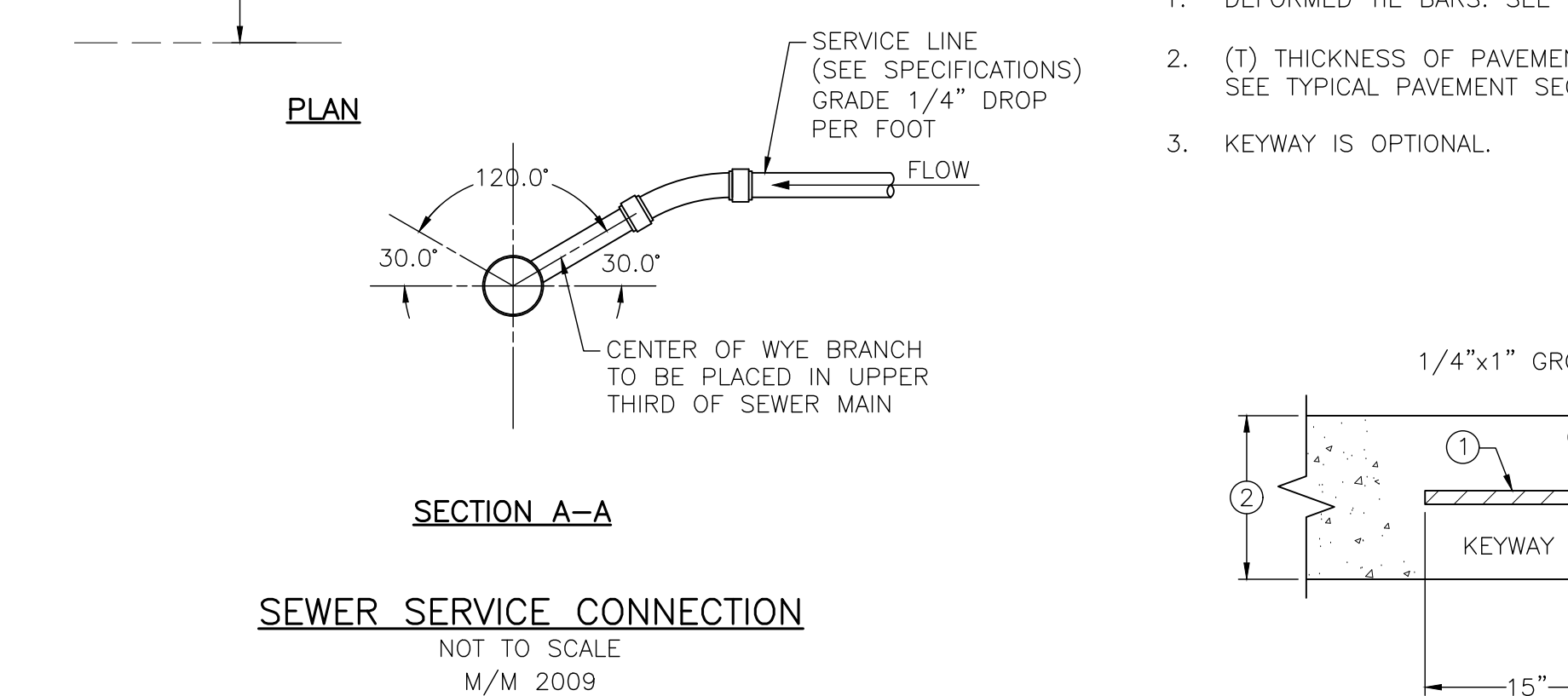
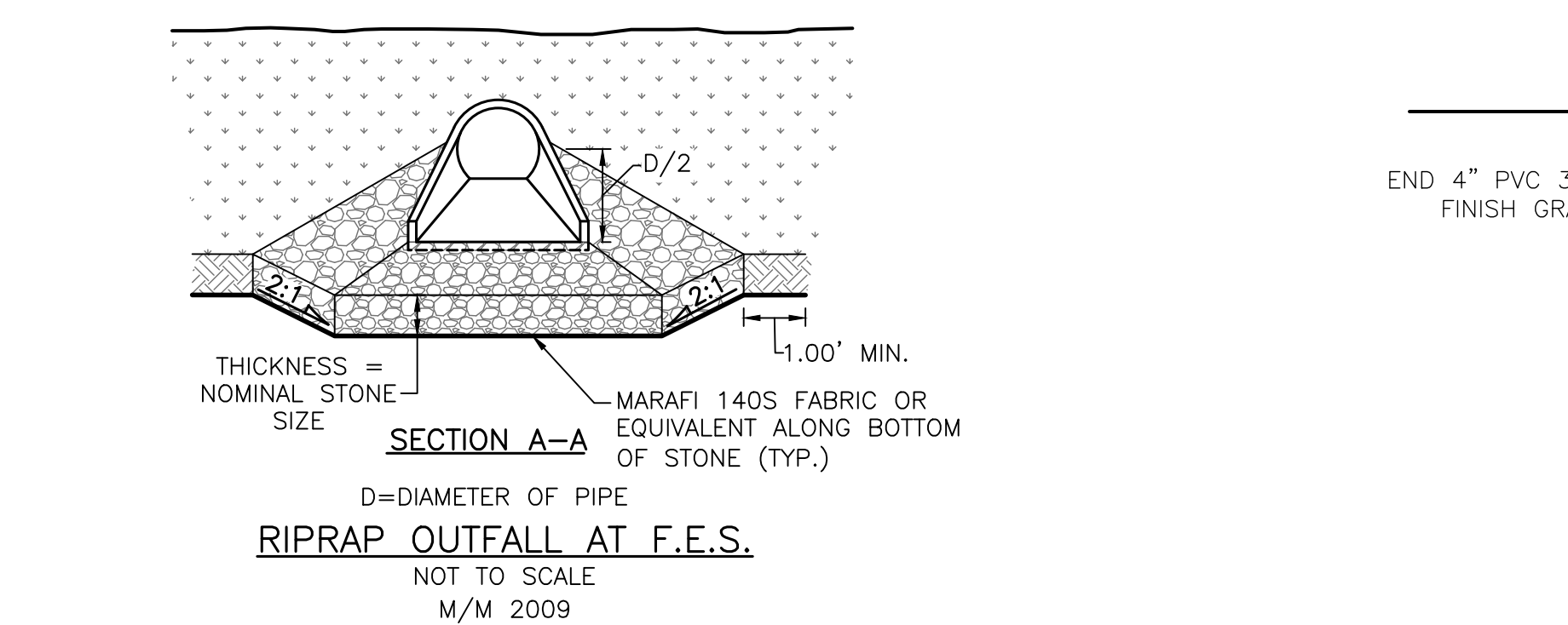


**BARKER
RINKER
SEACAT**
ARCHITECTURE

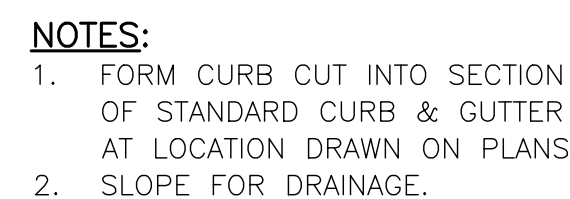
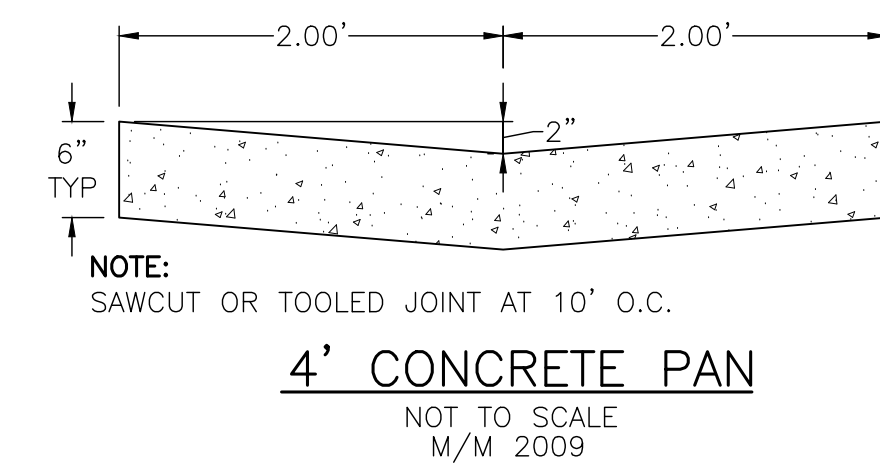
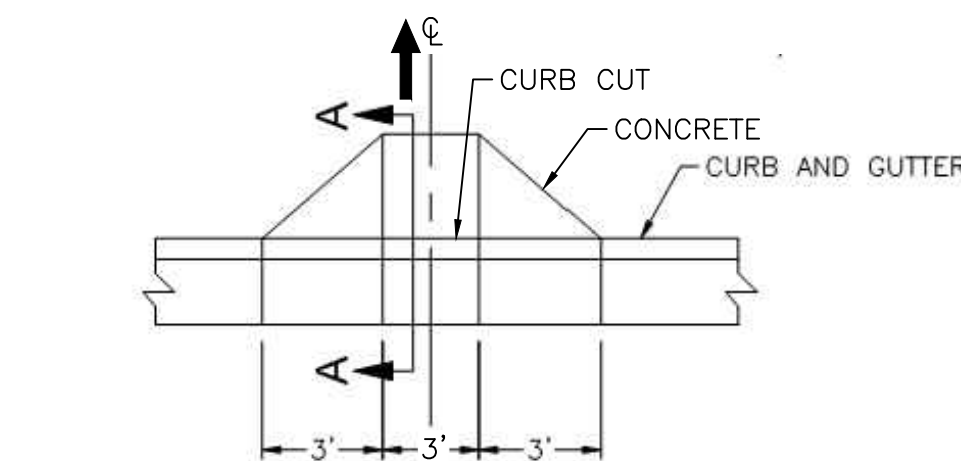
3457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

JOB NO.	2015.017.020
SCALE	
DATE	SEPTEMBER 07, 2016
SHEETS	18
SHEET	07

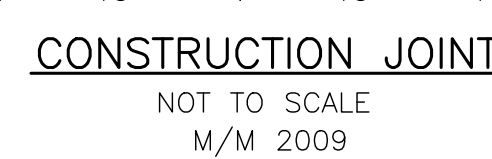
1 MINIMUM WIDTH THAT IS NECESSARY TO CONVEY 100-YR FLOW. NOTE
THAT THIS SWALE-3 IS MUCH WIDER THAN NEEDED AND THAT PAN-1
AND PAN-2 CAN CONVEY THE 100-YR FLOW PAST CART BARN SAFELY.
2 MINIMUM DEPTH THAT IS NECESSARY TO CONVEY 100-YR FLOW.



A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



- | TIEBARS | | | |
|-------------------------|--------------|------------|-------------|
| PAVEMENT THICKNESS, IN. | DIAMETER IN. | LENGTH IN. | SPACING IN. |
| 5 | 1/2 | 30 | 30 |
| 6 | 1/2 | 30 | 30 |
| 7 | 1/2 | 30 | 30 |
| 8 | 1/2 | 30 | 30 |
| 9 | 5/8 | 30 | 30 |
| 10 | 5/8 | 30 | 30 |



DRAWN	<i>E. BERNAL</i>
CHECKED	<i>B. WILLIS</i>
DESIGNED	<i>C. MACPHEE</i>
FILENAME	<i>08_DETAILS.dwg</i>

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS: SITE PLAN

DETAILS



3457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

JOB NO. **2015.017.020**

SCALE

DATE SEPTEMBER 07, 2016

SHEETS	SHEET
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18 | 08

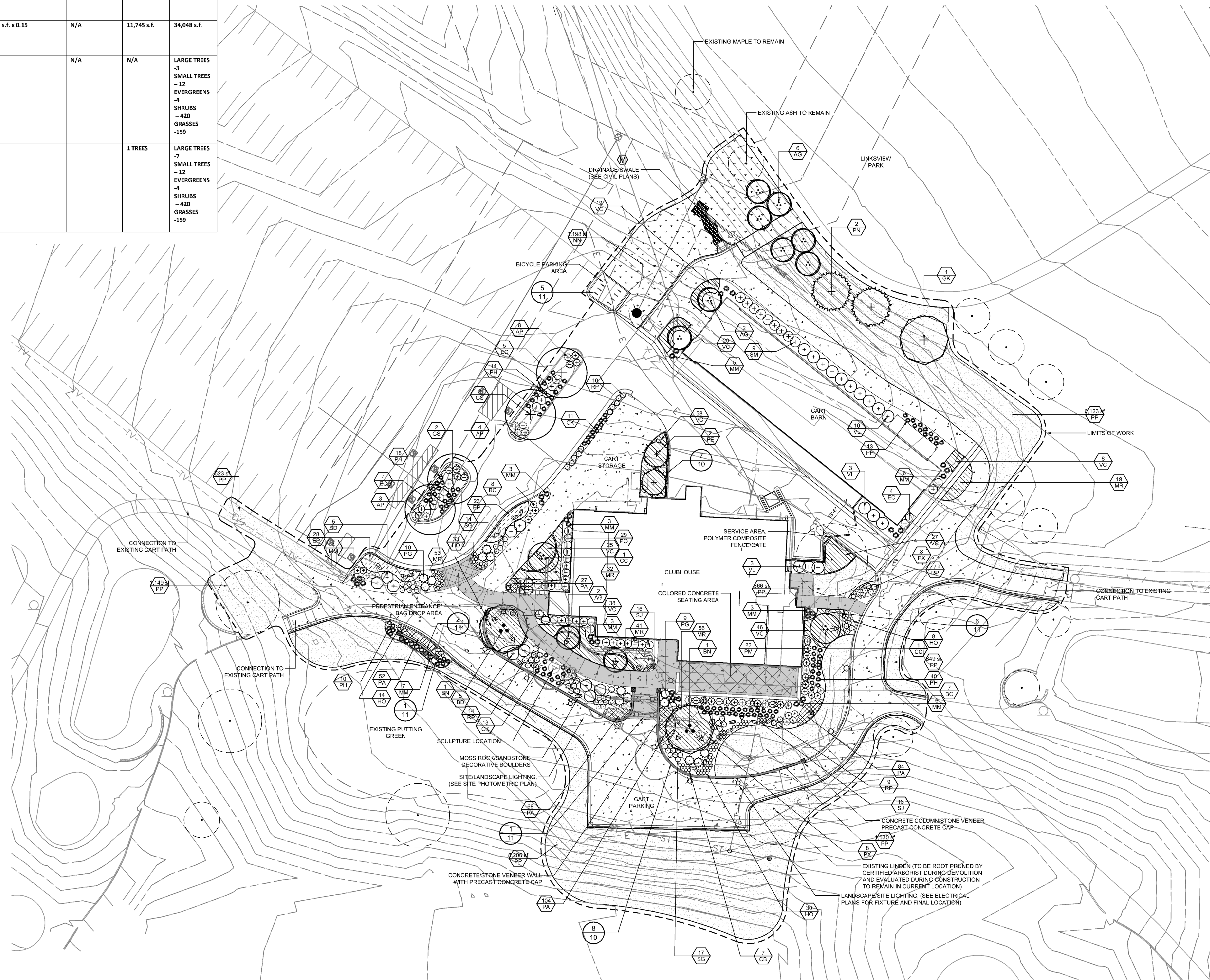
SITE PLAN

SUBURBAN GOLF COURSE IMPROVEMENTS






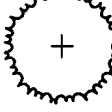















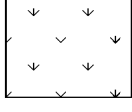
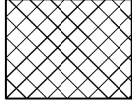
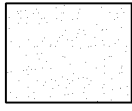

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

LANDSCAPE CHART:

LANDSCAPE AREA	AREA	CALCULATION	PLANT UNIT MODEL TYPE	TOTAL REQUIRED	TOTAL PROVIDED
STREET TREES	N/A	Typically 1 tree per 25 linear ft. 200 Linear ft. of right of way frontage / 25 ft. = 8	N/A	N/A	N/A
BUFFERYARDS	N/A	Depends: See LDC Table 12-8-402, 12-8-404 and 12-8-406	-	-	-
PARKING LOT LANDSCAPING ISLANDS	857 s.f.	6 PARKING SPACES 1 TREE PER 6 PARKING SPACES	N/A	1 TREES	4 TREES
STORMWATER DETENTION FACILITIES/OPEN SPACE	N/A	N/A	N/A	N/A	N/A
LANDSCAPE SURFACE RATIO	15%	SIZE OF SITE s.f. x 0.15	N/A	11,745 s.f.	34,048 s.f.
LANDSCAPE AREA	11,750 s.f.	N/A	N/A	N/A	LARGE TREES -3 SMALL TREES - 12 EVERGREENS -4 SHRUBS ~ 420 GRASSES -159
TOTALS	TOTAL PROVIDED			1 TREES	LARGE TREES -7 SMALL TREES - 12 EVERGREENS -4 SHRUBS ~ 420 GRASSES -159



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME
	AG	10	Amelanchier x grandiflora 'Autumn Brilliance'
	BN	2	Betula nigra 'Duraheat'
	CC	2	Cercis canadensis
	GS	4	Gleditsia triacanthos 'Skyline'
	GK	1	Gymnocladus dioica
	PE	2	Pinus leucodermis 'Emerald Arrow'
	PN	2	Pinus nigra
SHRUBS	CODE	QTY	BOTANICAL NAME
	AP	15	Arctostaphylos x 'Panchito'
	BC	15	Berberis thunbergii 'Crimson Pygmy'
	BD	10	Buddleja davidii
	EC	13	Euonymus alatus 'Compactus'
	FO	29	Physocarpus opulifolius 'Donna May'
	PG	19	Picea pungens 'Globosa'
	PM	22	Pinus mugo 'Sowmound'
	RP	40	Rosa x 'Flower Carpet Pink'
	SG	31	Spiraea x bumalda 'Goldflame'
	SM	9	Syringa patula 'Miss Kim'
	VL	16	Viburnum lantana 'Mohican'
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME
	CB	7	Chrysanthemum x morifolium 'Beth'
	HO	85	Hemerocallis x 'Stella de Oro'
	PX	16	Penstemon mexicali 'Pike's Peak Purple'
	SJ	29	Sedum x 'Autumn Joy'
GRASSES	CODE	QTY	BOTANICAL NAME
	CK	24	Calamagrostis x acutiflora 'Karl Foerster'
	MM	40	Miscanthus sinensis 'Morning Light'
	PH	95	Pennisetum alopecuroides 'Hamel'
SHRUB AREAS	CODE	QTY	BOTANICAL NAME
	MR	201	Mahonia repens
GROUND COVERS	CODE	QTY	BOTANICAL NAME
	EP	51	Euonymus coloratus
	NN	3,198 sf	Native Seed See Mix Table
	PA	335	Petunia x hybrida
	PP	18,846 sf	Poa pratensis
	VC	241	Vinca minor 'Bowles'

NOTE:

1. EXISTING IRRIGATION SYSTEM TO BE USED. SYSTEM TO BE RETROFITTED TO ACCOMMODATE PROPOSED PLANTING DESIGN.
2. ALL EXISTING TREES TO REMAIN WITHIN LIMITS OF WORK AREA TO RECEIVE TREE PROTECTION. ALL EXISTING TREES OUTSIDE OF LIMITS OF WORK AREA BUT WITHIN 15' OF LIMITS OF WORK LINE TO RECEIVE TREE PROTECTION.

CASE NUMBER: LU-16-00169

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS

LANDSCAPE PLAN

JOB NO. 2015017020

SCALE *1:30*

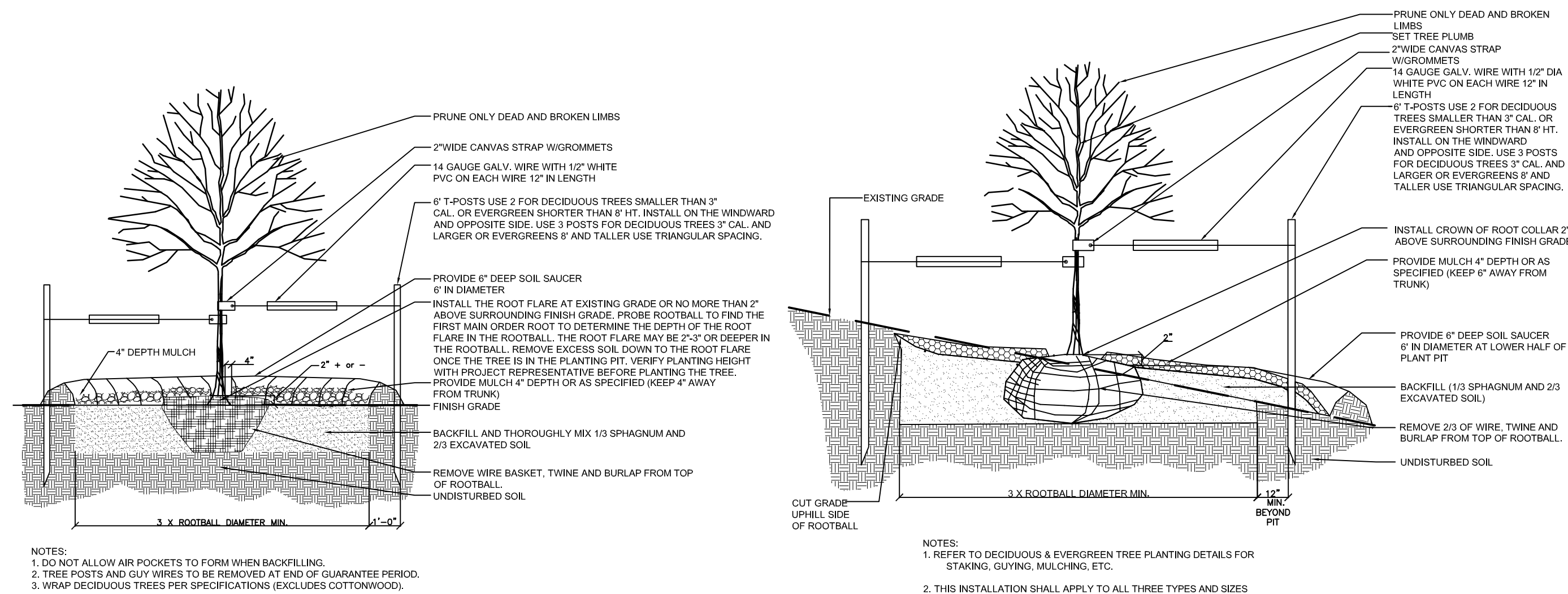
DATE JULY 06, 2016

SHEETS	SHEET
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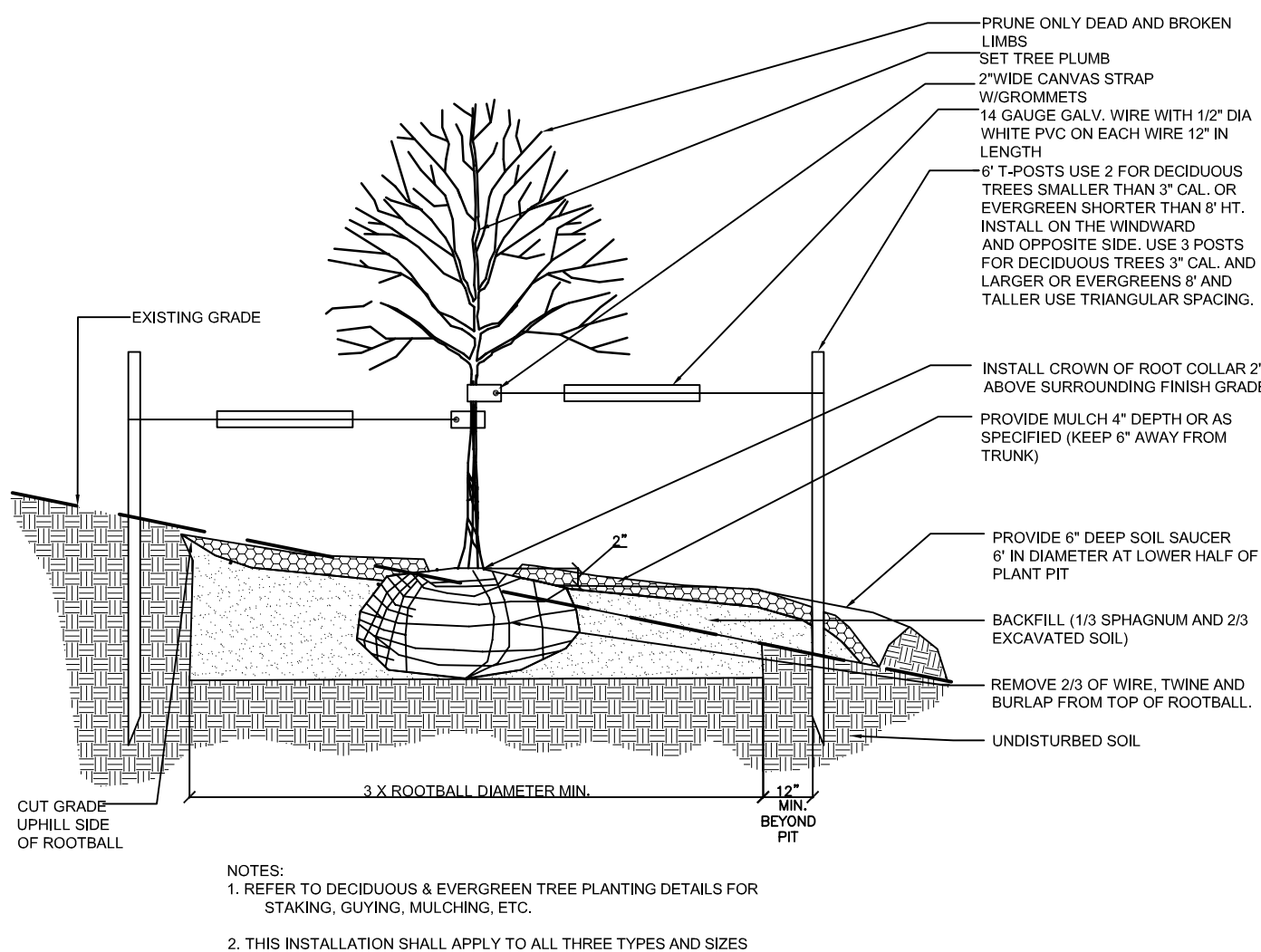
18 | 9

SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

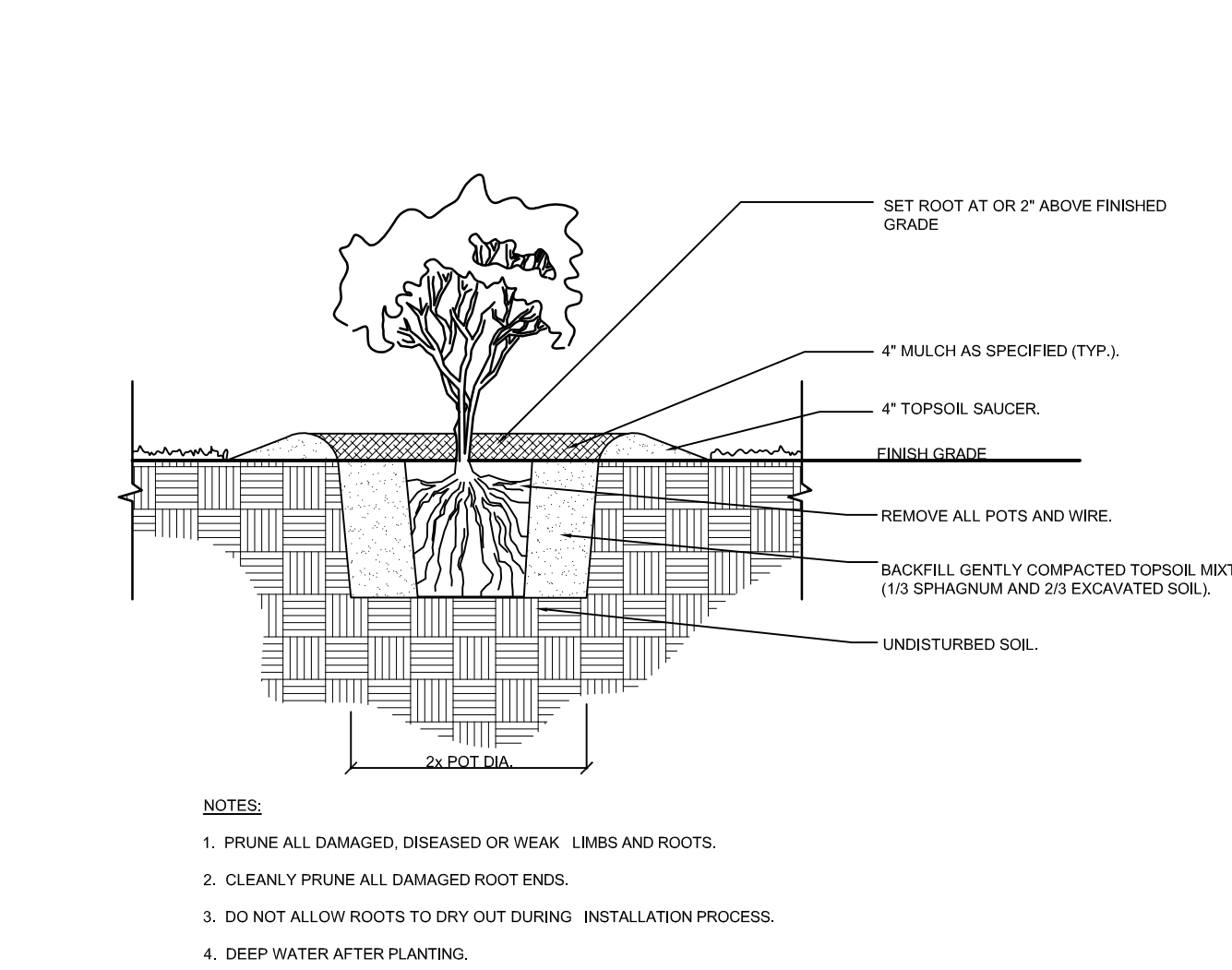
A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



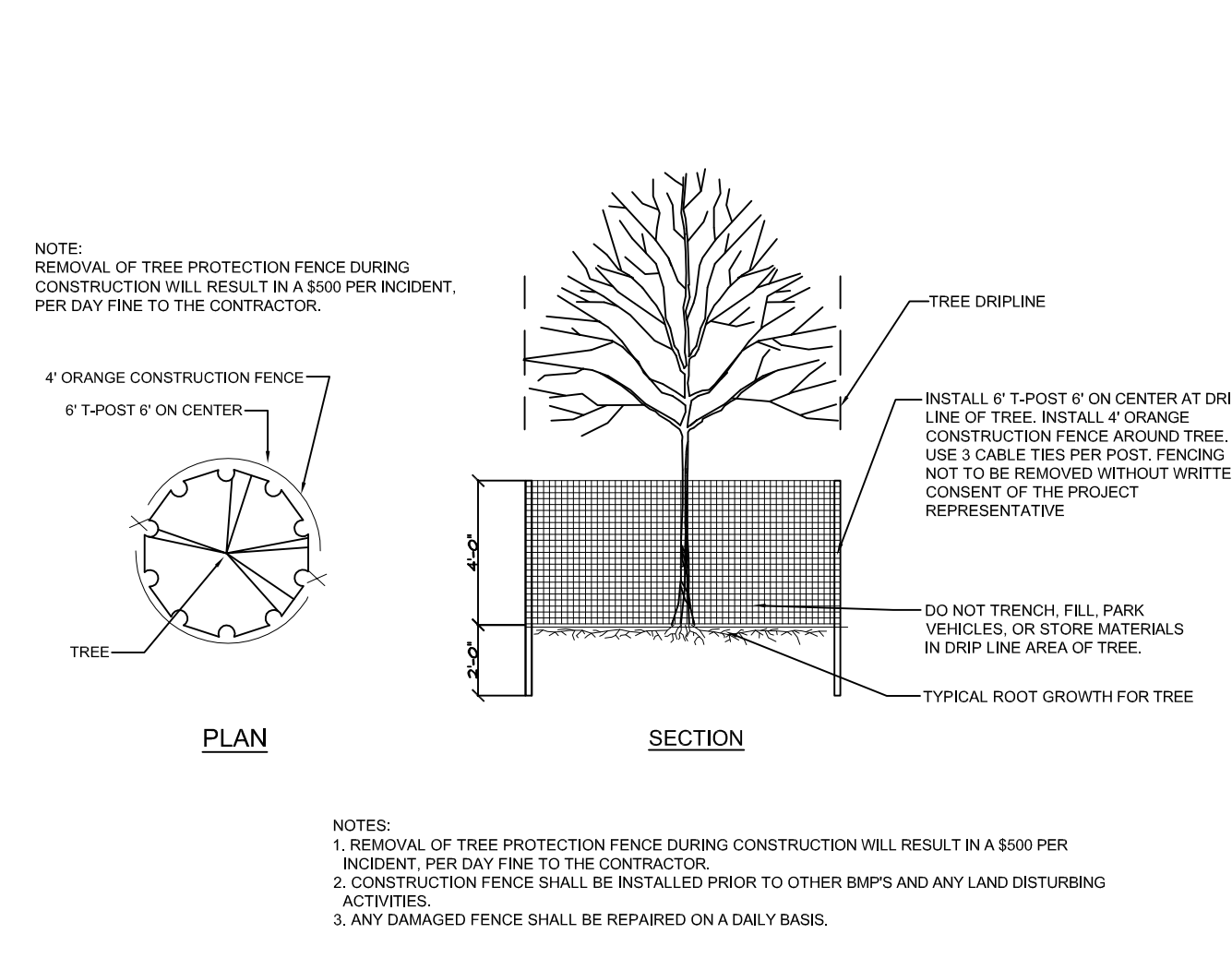
1 SSPR-DECIDUOUS-EVERGREEN TREE PLANTING
N.T.S. 329343.19-15



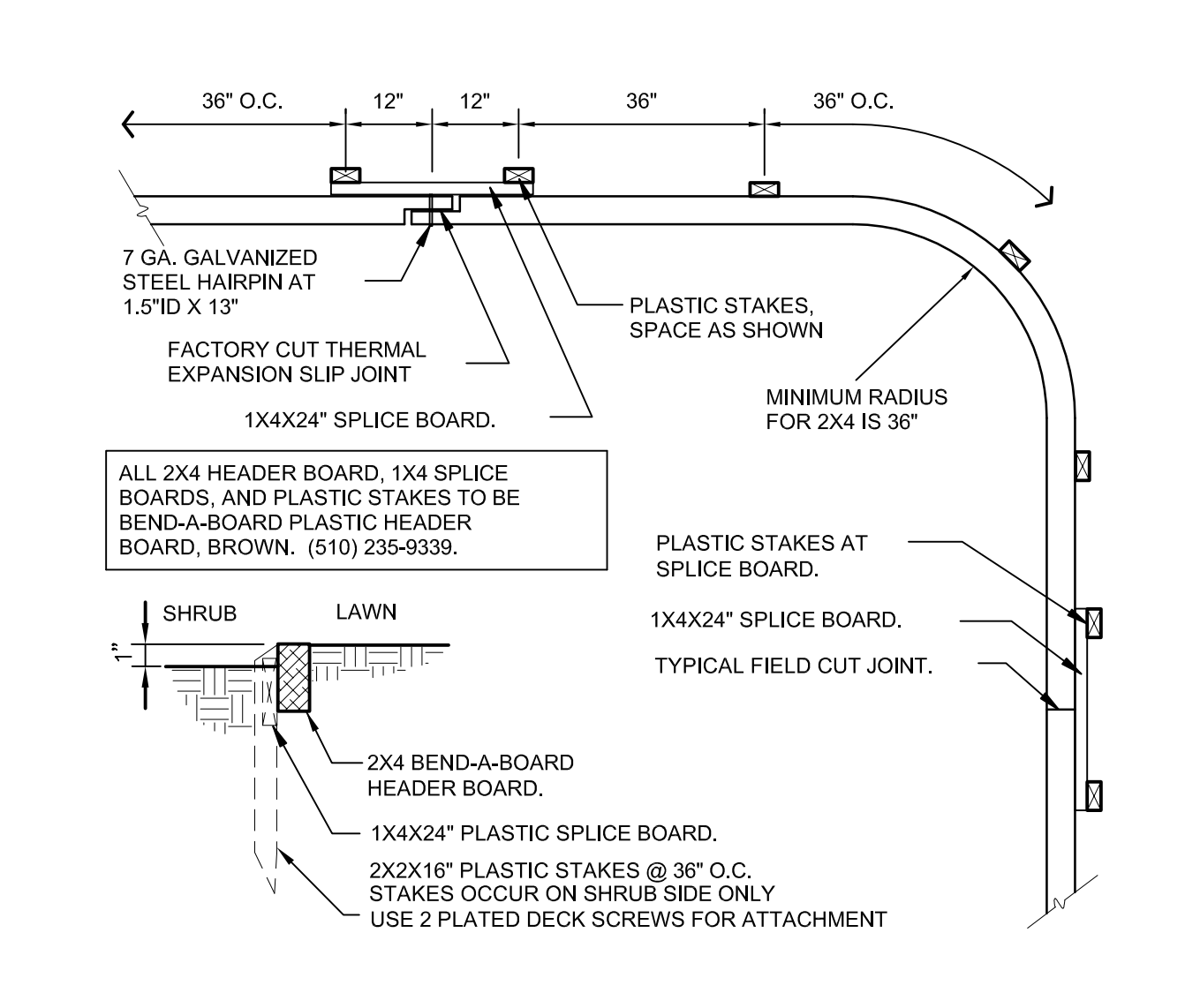
2 SSPR-TREE PLANTING ON SLOPE
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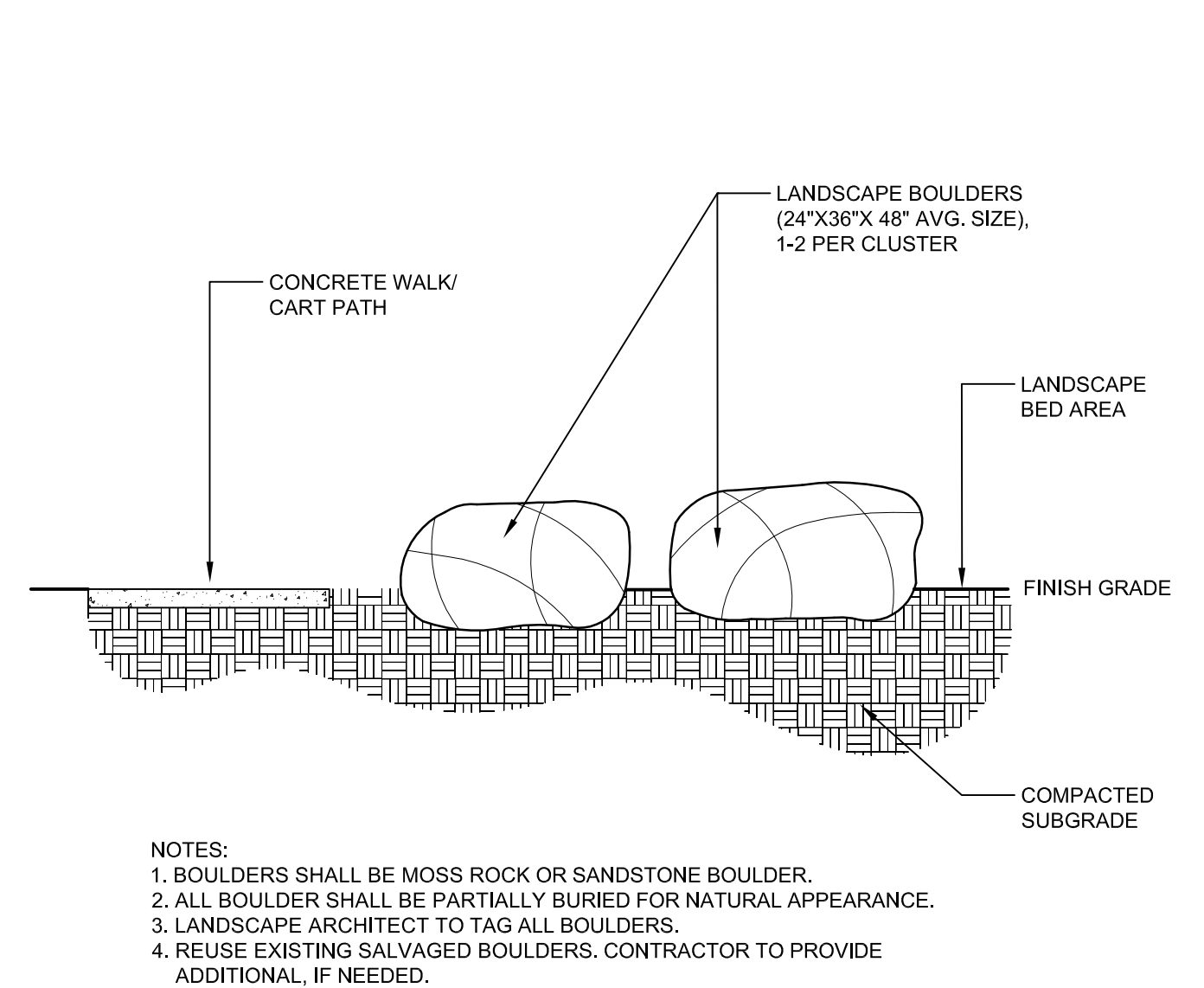
3 SSPR-SHRUB PLANTING
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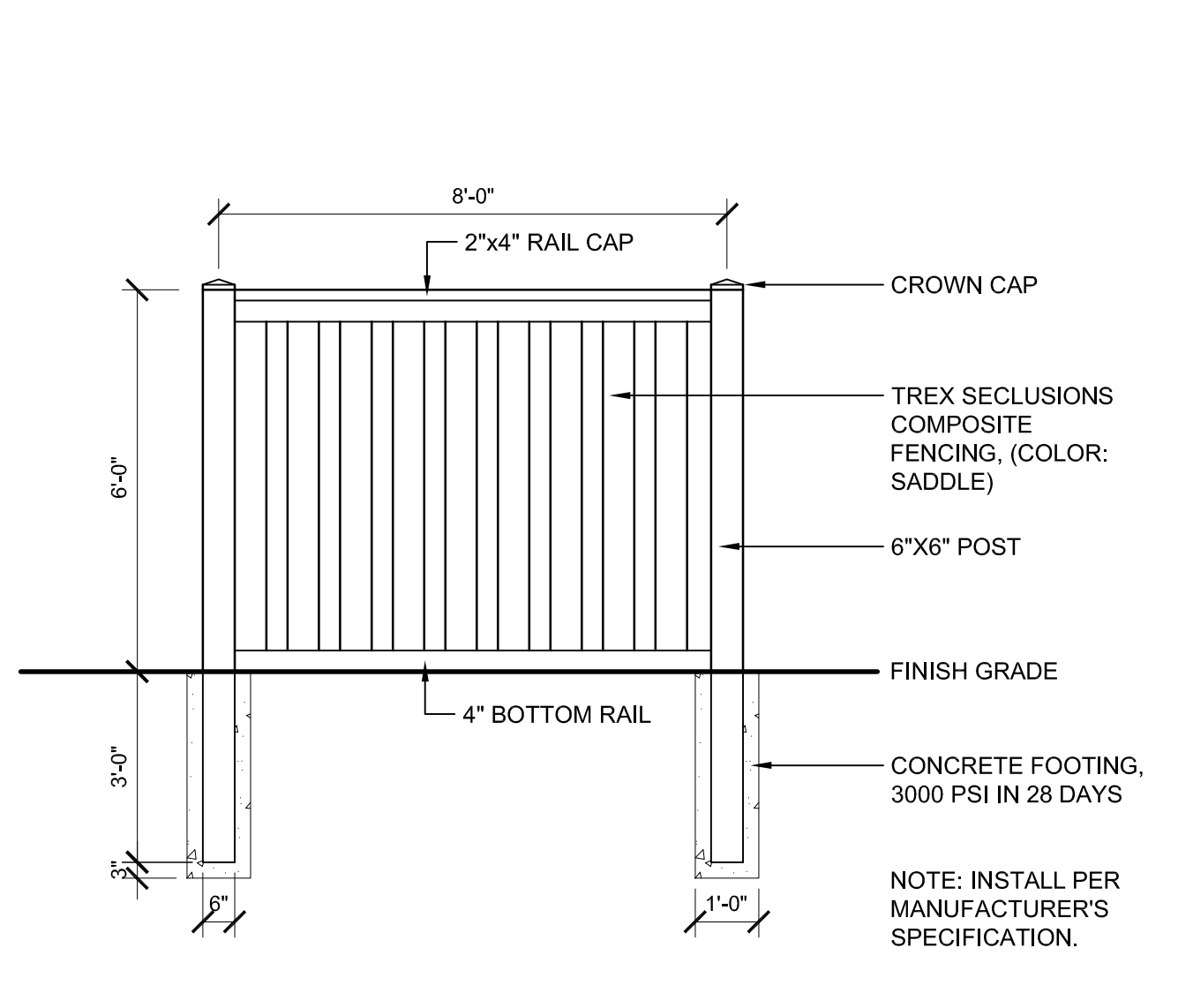
4 TREE PROTECTION
N.T.S. 02-01



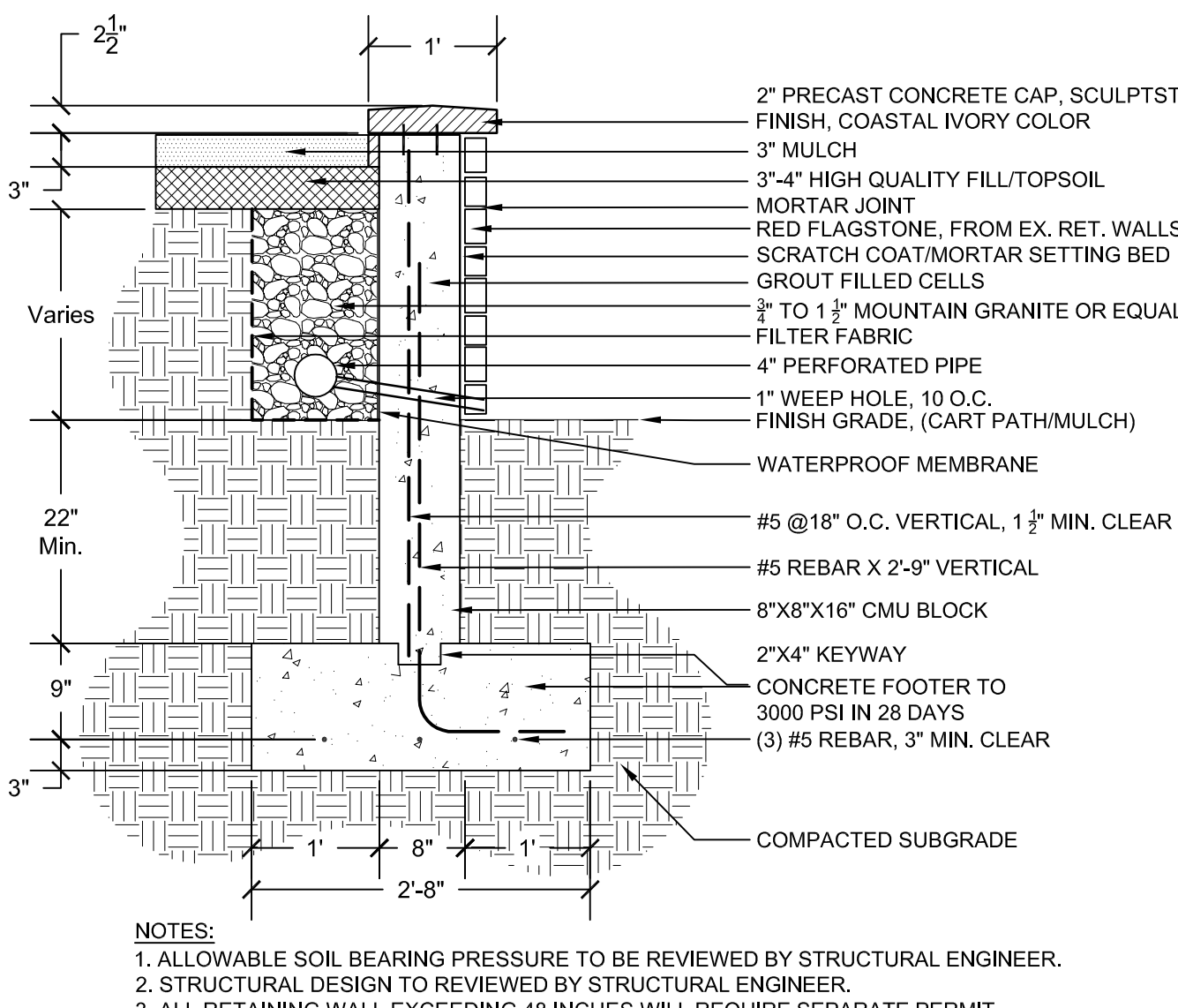
5 BEND-A-BOARD PLASTIC 2X4 EDGING
1\"/>



6 LANDSCAPE BOULDERS
N.T.S. 321516-02



7 6\"/>



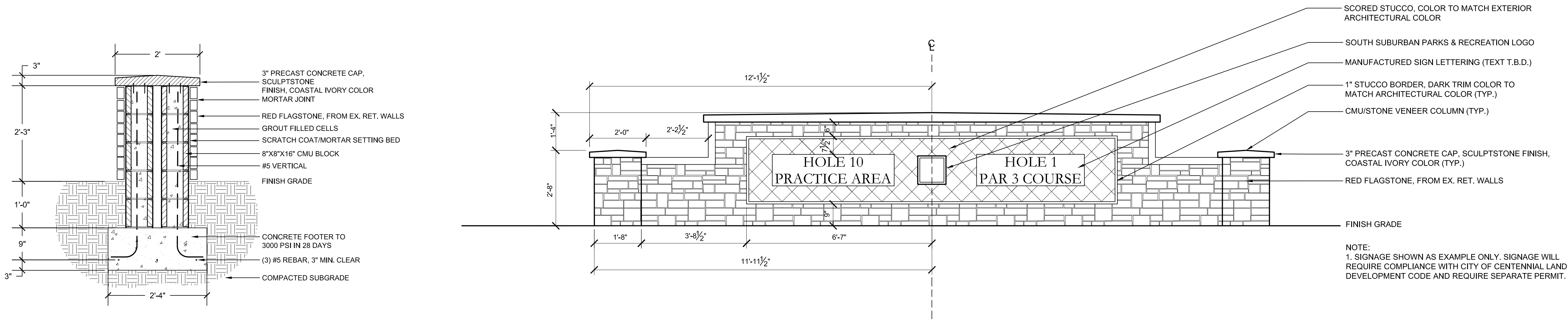
8 CMU/STONE VENEER RETAINING WALL
3/4\"/>

CASE NUMBER: LU-16-00169

REVISIONS	Description	
	Date	
	By	
Drawn	GR	
Checked	GR	
Designed	GR	
Filename	16-08-17G_LSP.DWG	
SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS		
LANDSCAPE DETAILS		
3457 RINGSBY COURT, UNIT 200 DENVER, CO 80216 (303) 455 - 1366		
Job No.	2015.017.020	
Scale	1:30	
Date	JULY 06, 2016	
Sheets	18	10

SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

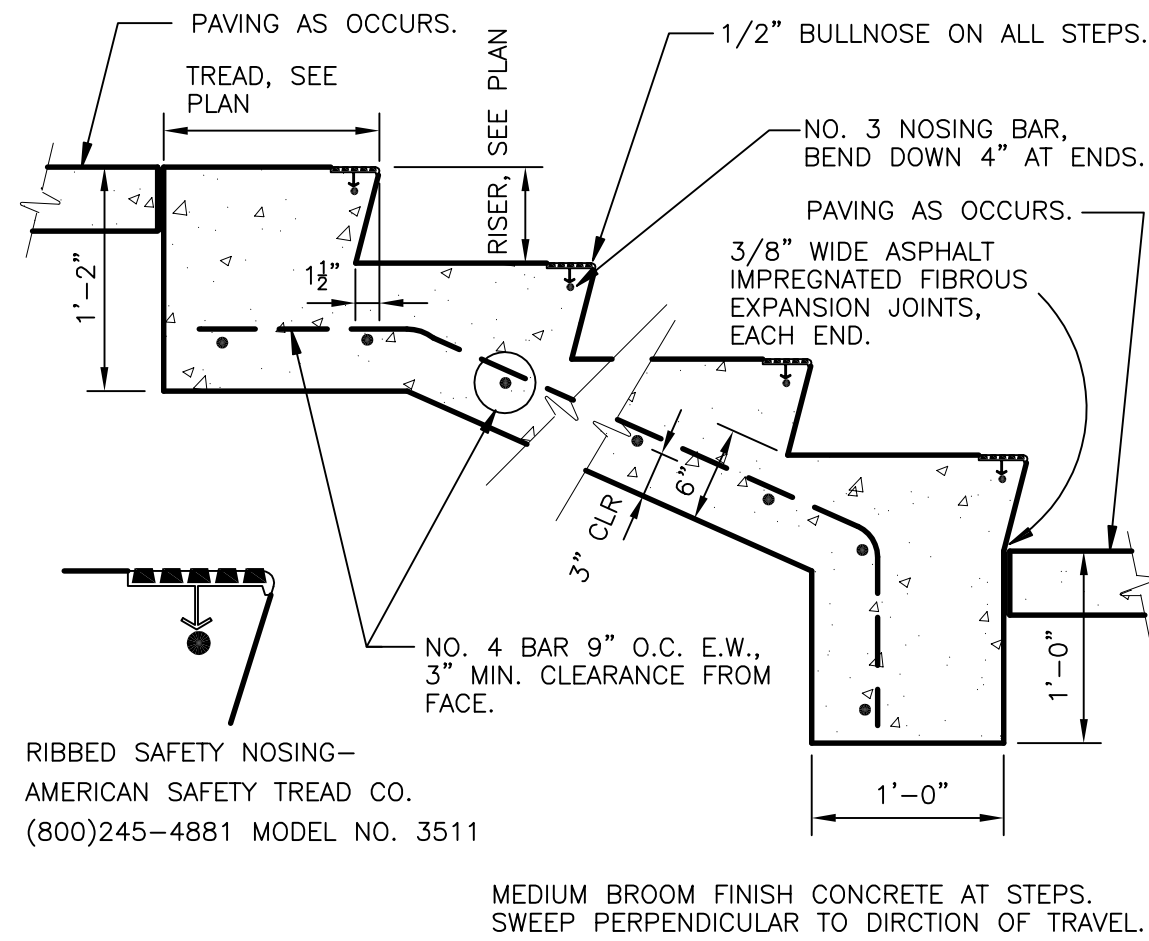


1 CMU/STONE VENEER COLUMN
3/4" = 1'-0"

042276.23-02

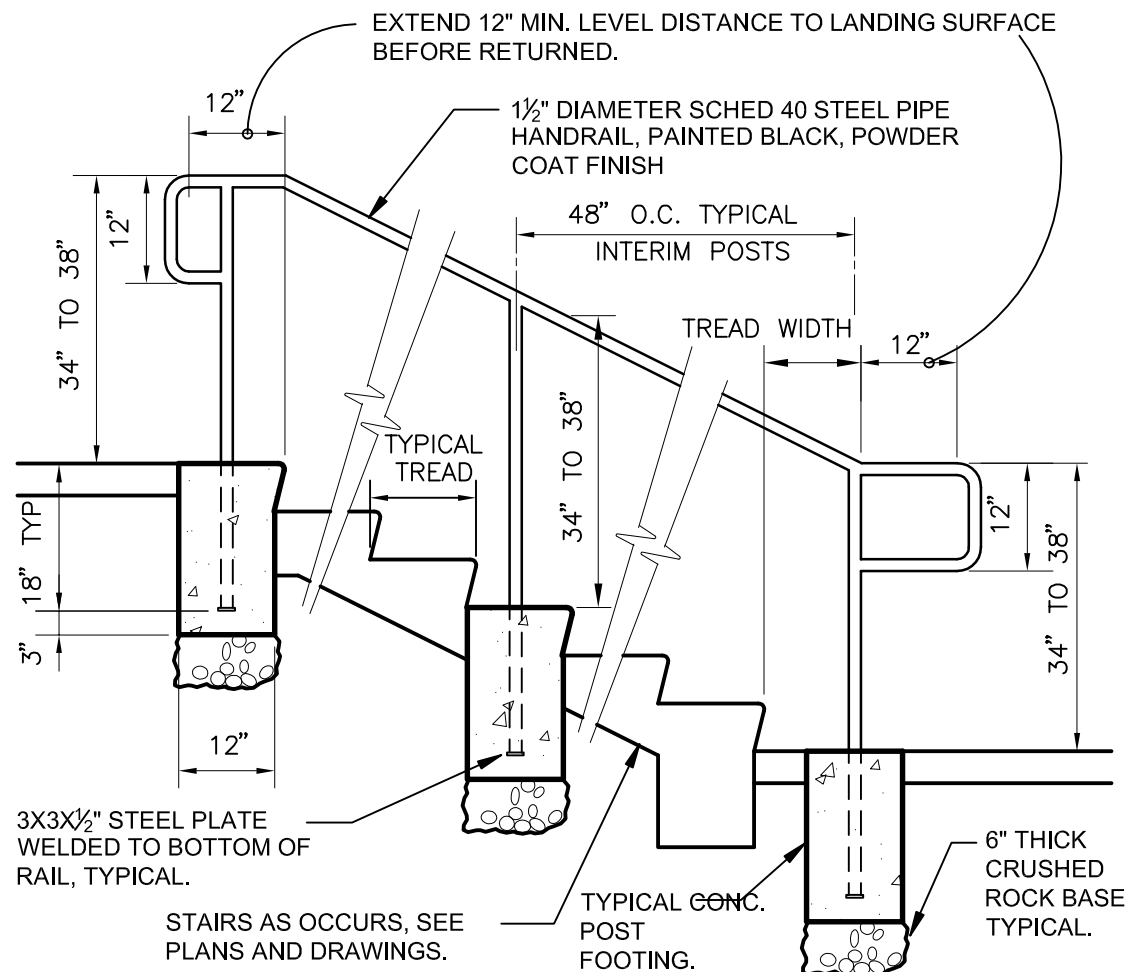
2 WAYFINDING SIGNAGE WALL ELEVATION
1/2" = 1'-0"

P-CO-34



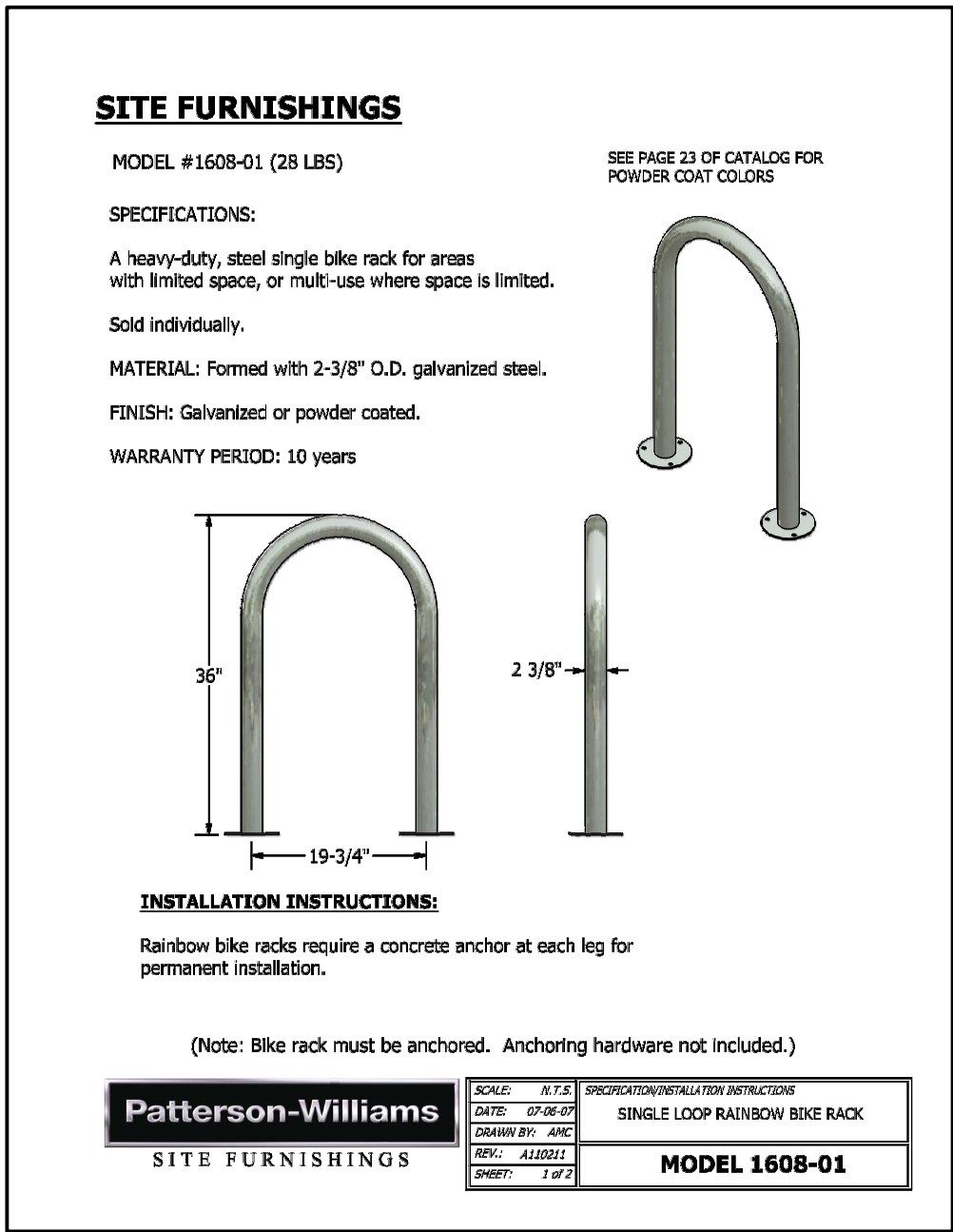
3 CONCRETE STAIRS
1" = 1'-0"

321319.13-03



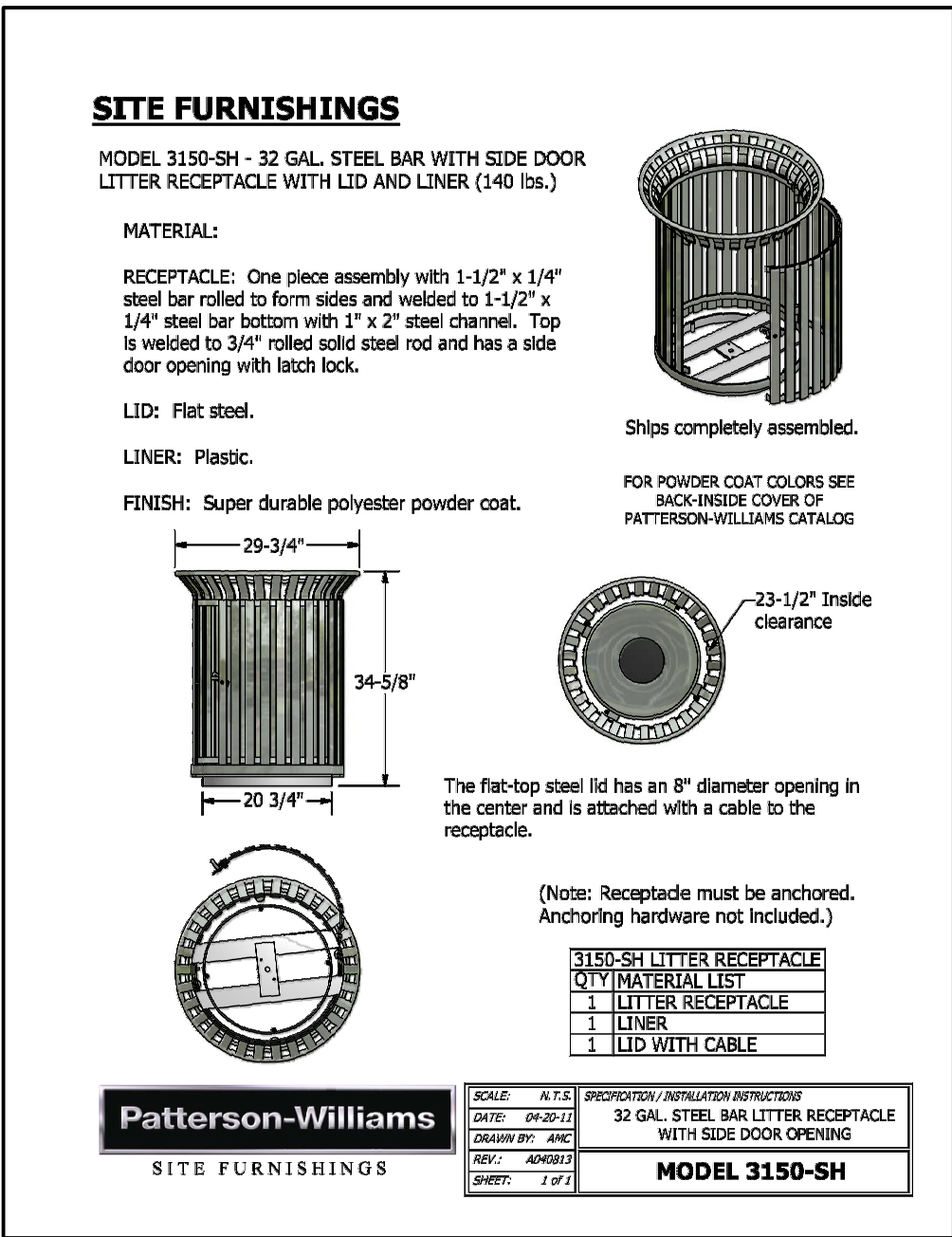
4 ACCESS STAIR HANDRAIL
1/2" = 1'-0"

P-GO-WAL-06



5 LOOP BIKE RACK
1/2" = 1'-0"

P-CO-32



6 TRASH RECEPTACLE
1/2" = 1'-0"

P-CO-33

REVISIONS		Description
By	Date	
GR	9/07/16	2ND SUBMITTAL TO CITY OF CENTENNIAL
GR	10/11/16	3RD SUBMITTAL TO CITY OF CENTENNIAL
GR	11/1/16	4TH SUBMITTAL TO CITY OF CENTENNIAL

DRAWN	GR
CHECKED	GR
DESIGNED	GR
FILENAME	16-08-17G_LSP.DWG

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS

LANDSCAPE DETAILS

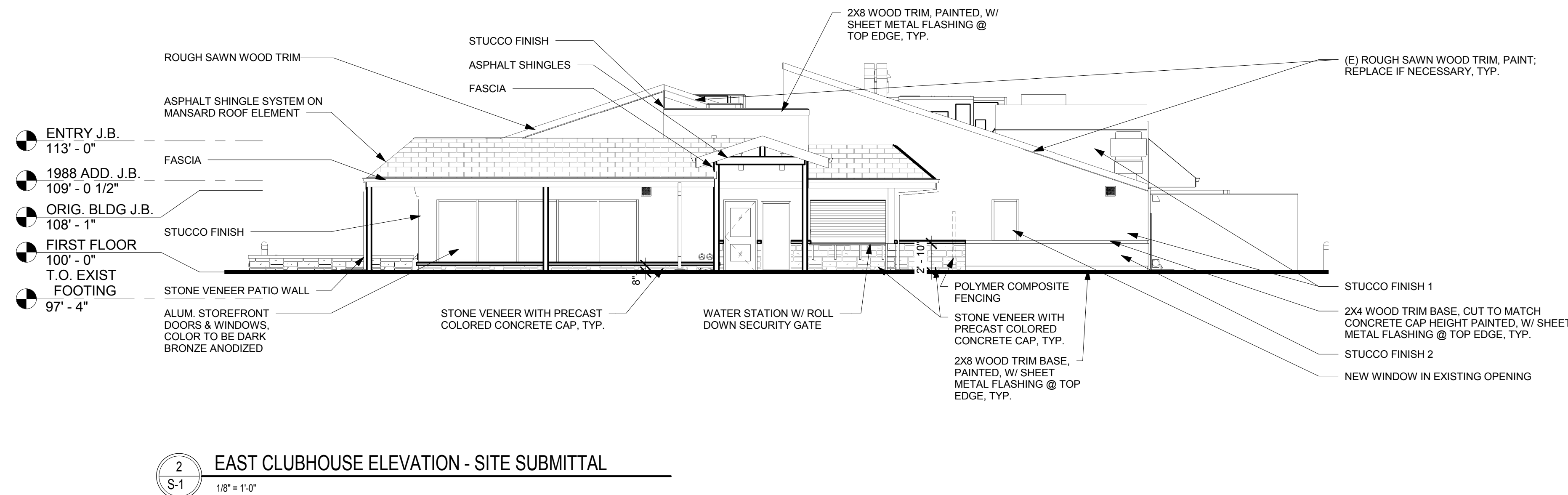
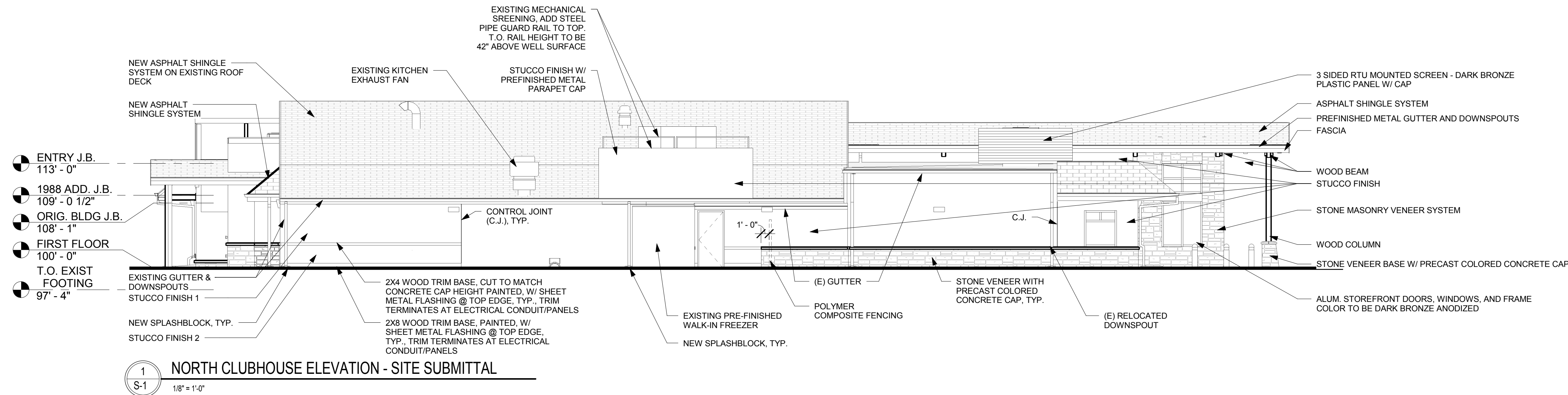
3457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

JOB NO.	2015.017.020
SCALE	1:30
DATE	JULY 06, 2016
SHEETS	18
SHEET	11

SITE PLAN

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



MATERIAL FINISH COLOR CHART:

MATERIAL	FINISH COLOR
STUCCO 1	TAN
STUCCO 2	LIGHT BROWN
WOOD TRIM / FASCIA	MEDIUM BROWN (PAINT)
WOOD BEAMS	MEDIUM BROWN (STAIN)
ASPHALT SHINGLES	BROWN / GREY MIX
STONE VENEER	RED / PINK FLAGSTONE
PRECAST CONCRETE COLUMN / WALL CAP	OFF WHITE
ALUMINUM DOOR & WINDOW FRAMES	DARK BRONZE
GLAZING	CLEAR

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:

SITE PLAN

CLUBHOUSE ELEVATIONS



BARKER
RINKER
SEACAT
ARCHITECTURE

3457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

JOB NO. 2015.017.020

SCALE

DATE JULY 06, 2016

SHEETS

18

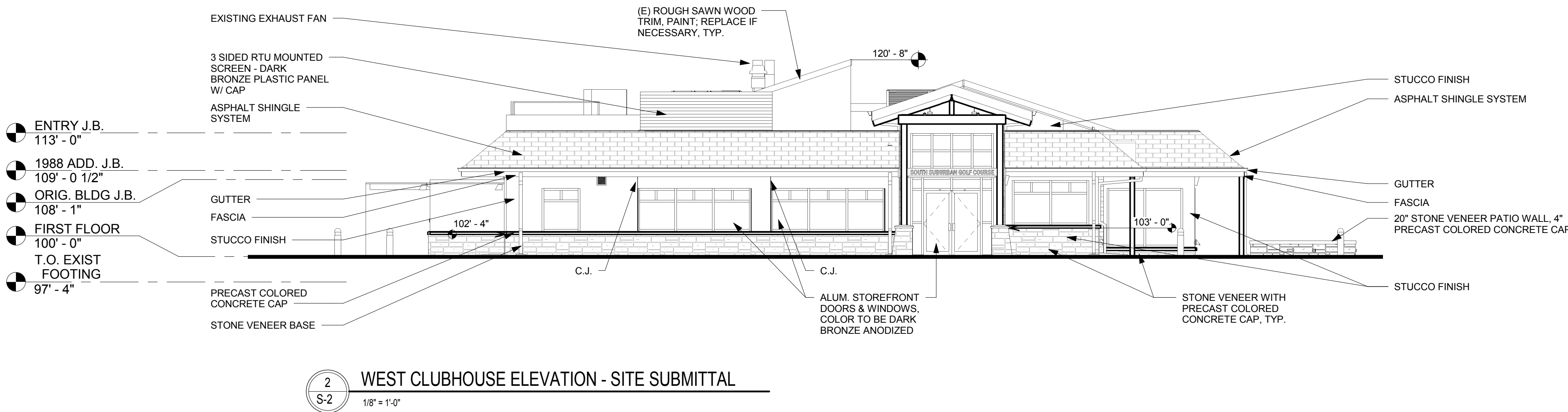
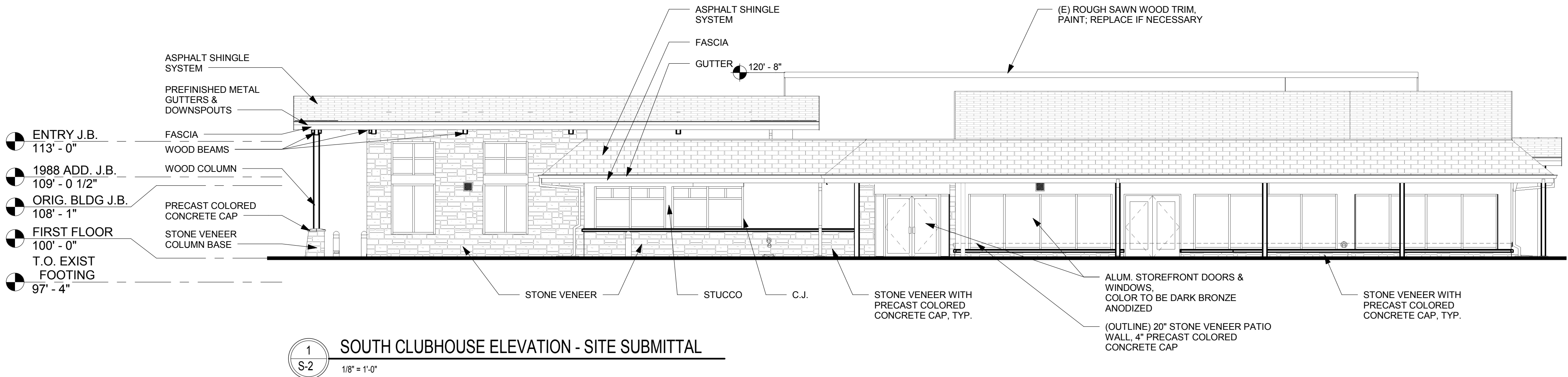
SHEET

12

CASE NUMBER: LU-16-00169

SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



MATERIAL FINISH COLOR CHART:

MATERIAL	FINISH COLOR
STUCCO 1	TAN
STUCCO 2	LIGHT BROWN
WOOD TRIM / FASCIA	MEDIUM BROWN (PAINT)
WOOD BEAMS	MEDIUM BROWN (STAIN)
ASPHALT SHINGLES	BROWN / GREY MIX
STONE VENEER	RED / PINK FLAGSTONE
PRECAST CONCRETE COLUMN / WALL CAP	OFF WHITE
ALUMINUM DOOR & WINDOW FRAMES	DARK BRONZE
GLAZING	CLEAR

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:
SITE PLAN
CLUBHOUSE ELEVATIONS



3457 RINGSBY COURT,
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JOB NO. 2015.017.020

SCALE

DATE JULY 06, 2016

SHEETS

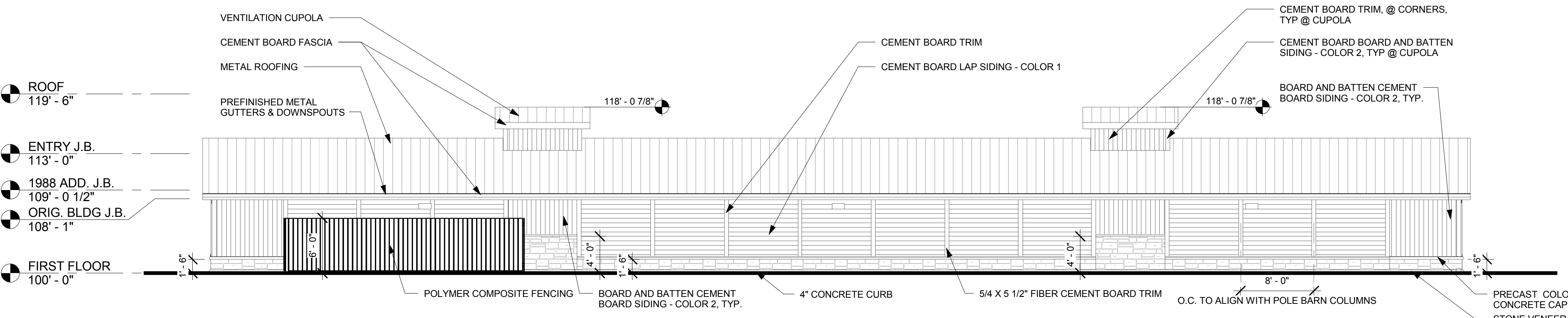
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SHEET

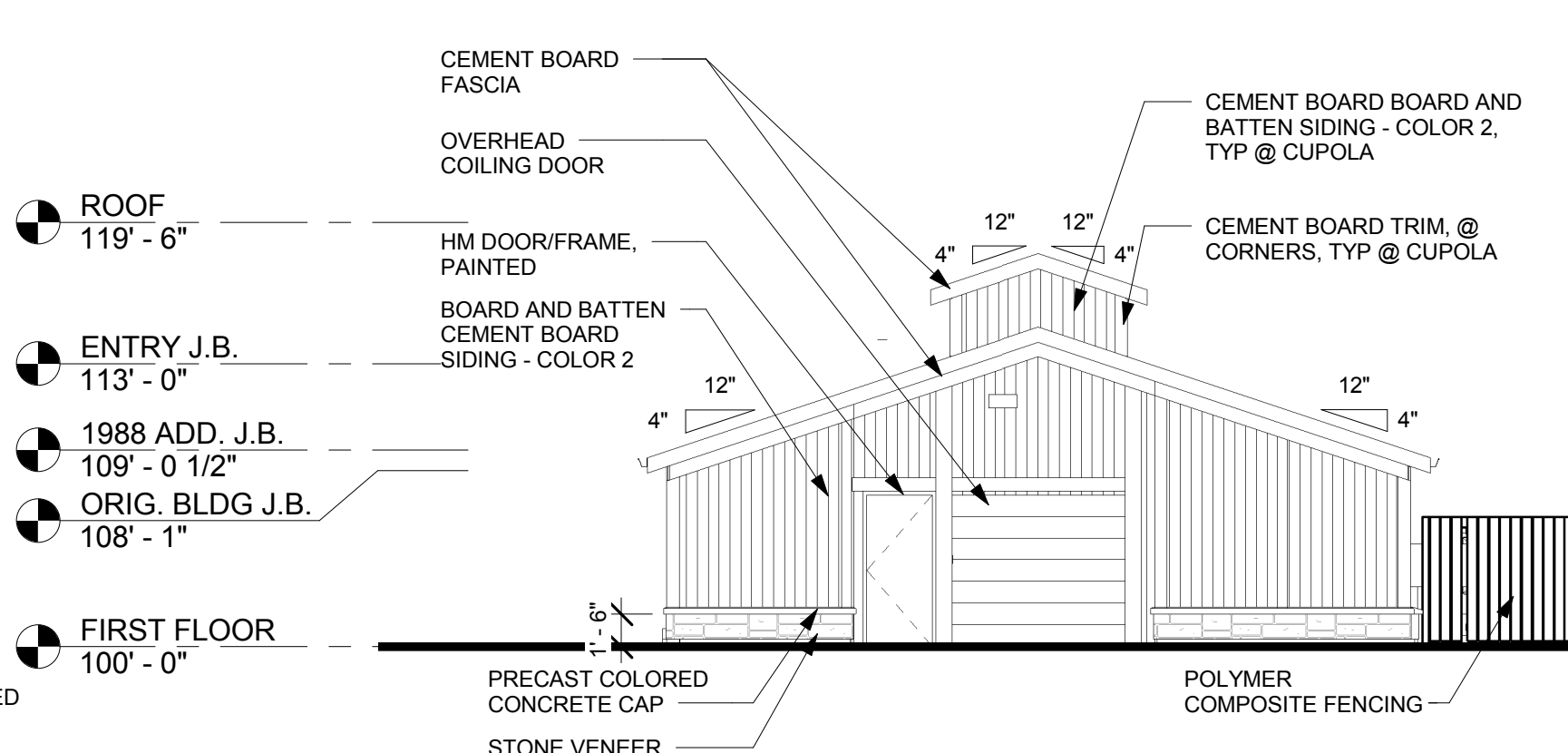
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SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

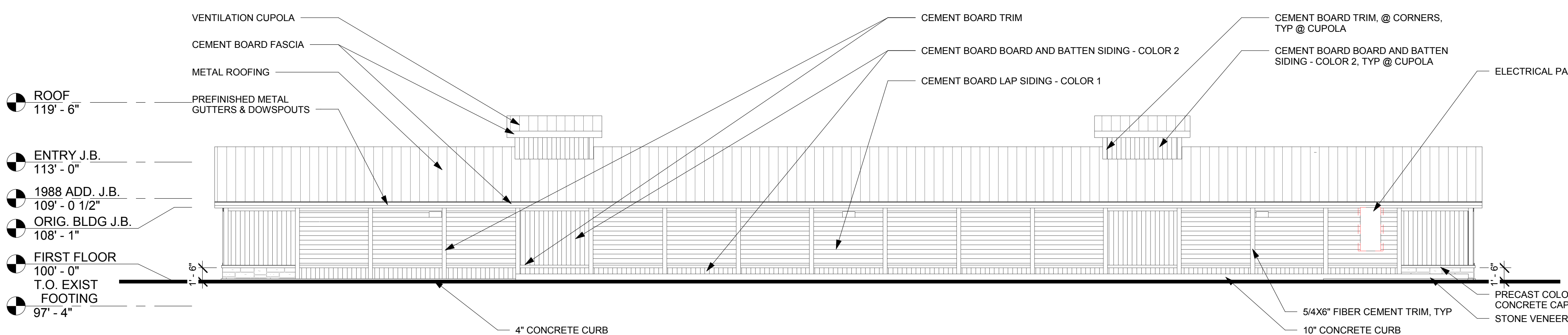
A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



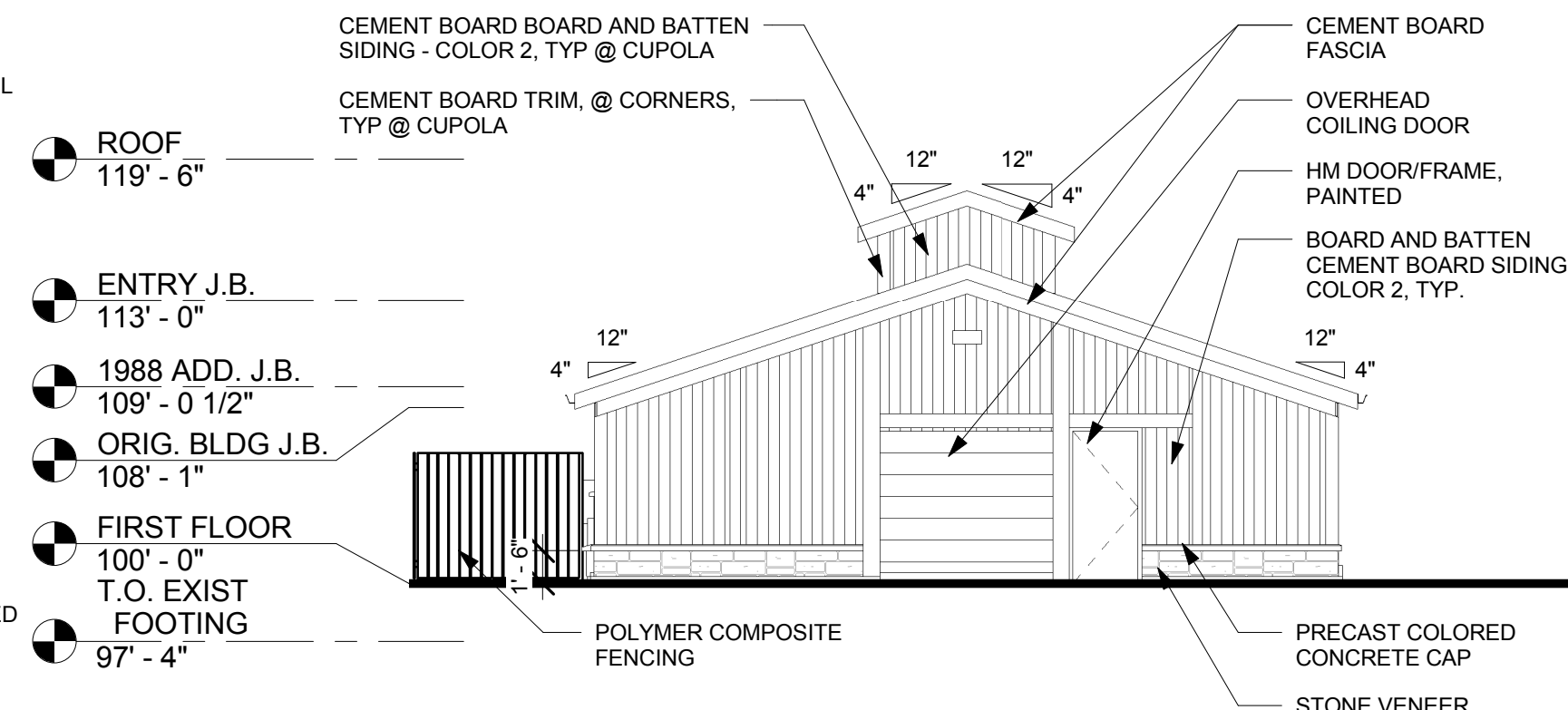
1 NORTH CART BARN ELEVATION - SITE SUBMITTAL
S-3 1/8" = 1'-0"



2 EAST CART BARN ELEVATION - SITE SUBMITTAL
S-3 1/8" = 1'-0"



3 SOUTH CART BARN ELEVATION - SITE SUBMITTAL
S-3 1/8" = 1'-0"



4 WEST CART BARN ELEVATION - SITE SUBMITTAL
S-3 1/8" = 1'-0"

NOTE: FENCING WILL REQUIRE A SEPARATE PERMIT.

MATERIAL FINISH COLOR CHART:

MATERIAL	FINISH COLOR
CEMENT BOARD SIDING 1	TAN
CEMENT BOARD SIDING 2	MEDIUM BROWN
CEMENT BOARD TRIM	DARK BROWN
WOOD TRIM / FASCIA	DARK BROWN
METAL ROOFING	DARK BROWN
STONE VENEER	RED / PINK FLAGSTONE
PRECAST CONCRETE WALL CAP	OFF WHITE
METAL DOOR & FRAMES	MEDIUM BROWN

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS:
SITE PLAN
CART BARN ELEVATIONS



3457 RINGSBY COURT,
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JOB NO. 2015.017.020

SCALE

DATE JULY 06, 2016

SHEETS SHEET

18 14

SITE PLAN

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

GENERAL NOTES	
A.	ALL ILLUMINANCE VALUES WERE CALCULATED USING A LIGHT LOSS FACTOR OF 1.0.
B.	NORTH PROPERTY LINE TO BE REMOVED PER PLAT DOCUMENT.
C.	FIXTURE TYPE EPI AND E62 (GROUND-MOUNTED ACCENT LANDSCAPE FLOOR LIGHTS, AIMED UPWARDS) ARE SHOWN FOR REFERENCE ONLY AND WERE NOT INCLUDED IN PHOTOMETRIC CALCULATIONS.
D.	ALL SITE LIGHTING FIXTURES TO BE CONTROLLED VIA ASTRONOMICAL TIMECLOCK WITH PHOTOCELL TO ALLOW LIGHTS TO BE TURNED "ON" ONLY DURING NON-DAYLIGHT HOURS.
E.	ILLUMINANCE VALUES SHOWN ARE AT GRADE AND ARE "INITIAL OUTPUT" USING A LIGHT LOSS FACTOR OF 1.0.
F.	ILLUMINANCE VALUES SHOWN HERE REPRESENT LIGHTING FROM LUMINAIRES SHOWN EXPLICITLY IN THIS DRAWING.
G.	ALL LIGHT FIXTURE SOURCES SHALL BE "FULL CUTOFF" (NOT EMITTING LIGHT ABOVE 90 DEG. FROM NAZIR) -- WITH THE EXCEPTION OF GROUND-MOUNTED ACCENT LANDSCAPE FLOOD LIGHTS WHICH WILL BE LOCATED, AIMED AND SHIELDED TO MINIMIZE LIGHT SPILL INTO THE NIGHT SKY.
H.	ALL FREE-STANDING SITE MOUNTED FIXTURES SHALL BE LESS THAN 4'-0" OVERALL HEIGHT.
I.	ALL OUTDOOR FIXTURES WILL BE SPECIFIED AND ORIENTED TO LIMIT GLARE ONTO ADJACENT PROPERTIES AND RIGHTS-OF-WAY.
J.	FRONT ENTRANCE LIGHTING LEVELS WILL NOT EXCEED 8 FOOTCANDLES.
K.	ALL PROVISIONS WITHIN LAND DEVELOPMENT CODE "SITE PLAN CHECKLIST" HAVE BEEN COMPLIED WITH, AS APPLICABLE TO THIS PROPERTY.
L.	REFER TO THE FOLLOWING DRAWING SHEETS FOR PHYSICAL APPEARANCES AND CHARACTERISTICS OF SPECIFIED LIGHTING FIXTURES.
M.	ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.

POINT ILLUMINANCE SUMMARY:					
AREA	AVERAGE (fc)	MAX (fc)	MIN (fc)	MAX/MIN	AVG/MIN
OVERALL	0.3	21.0	0.0	N/A	N/A
BUILDING ENTRANCE	16.1	14.7	4.0	2.2:1	1.6:1
STAIRS	1.2	4.2	0.3	14.0:1	4.0:1
PEDESTRIAN WALKWAYS	0.5	2.1	0.1	21.0:1	5.0:1
PATIO	1.6	2.0	1.2	1.7:1	1.3:1

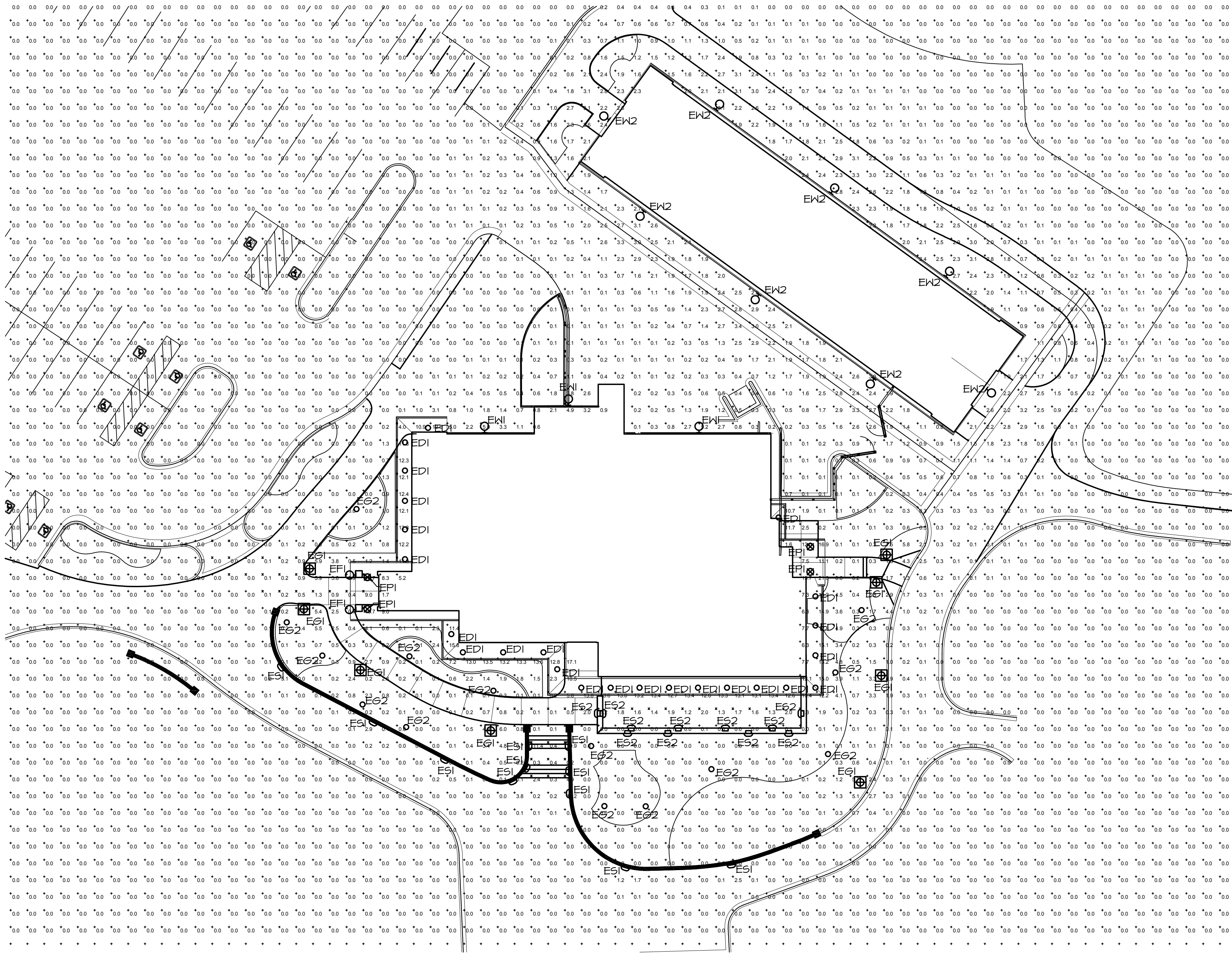
EXTERIOR LIGHTING POWER COMPLIANCE									
APPLICABLE ENERGY CODES:									
OPTION 1: ICC - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC)									
OPTION 2: CENTENNIAL LAND DEVELOPMENT CODE (AMENDED 2.28.2015) SECTION 12-6-704									
APPLICABLE EXTERIOR LIGHTING ZONE: 2 (RESIDENTIAL ZONING, NEIGHBORHOOD BUSINESS ? LIMITED NIGHTTIME USE & RESIDENTIAL MIXED-USE AREAS									
CHOSEN COMPLIANCE PATH: OPTION 1 (2015 IECC) -- MORE STRINGENT THAN OPTION 2 (CENTENNIAL LDC SEC. 12-6-704)									
AREA / SURFACE CATEGORY	UNIT QUANTITY	UNIT TYPE	ALLOWED WATTS / UNIT	TRADABLE VATTAGE?	ALLOWED WATTS	TOTAL CONN. LOAD (W)	TOTALS & COMPLIANCE CHECK		
PARKING AREAS & DRIVE AISLES	280	SQUARE FT	0.06	YES	17	425	TRADEABLE		
BUILDING MAIN ENTRY	6	LINEAR FT (OF DOOR)	20.00	YES	120	44	TRADEABLE		
BUILDING OTHER ENTRY	30	LINEAR FT (OF DOOR)	20.00	YES	600	136	TRADEABLE		
WALKWAYS < 10 FT WIDE	130	LINEAR FT	0.70	YES	91	333	TRADEABLE		
STAIRWAYS	180	SQUARE FT	1.00	YES	180	85	TRADEABLE		
ENTRY CANOPY	270	SQUARE FT	0.25	YES	68	210	TRADEABLE		
WALKWAYS > 10FT WIDE; PLAZAS	700	SQUARE FT	0.14	YES	98	303	TRADEABLE		
SUPPLEMENTAL	N/A	N/A	N/A	YES	600		ADDITIONAL ALLOWANCE		
					1773	1536	TOTAL		
						YES	COMPLIES W/ 2015 IECC?		
						YES	COMPLIES W/ LDC SEC. 12-6-704?		

LIGHTING FIXTURE SCHEDULE		MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QTY	WATT TYPE	MAX HATTS	MOUNTING INFORMATION		NOTES
TYPE	DESCRIPTION							LOCATION	BOF/RFD/OFH	
EDI	RECESSED CANOPY DOWNLIGHT	PRESCOLITE	LF4LED64-4LFLED56430KHT-B24	120	1	14 LED	14	CANOPY	3'-1/4" RFD	
EPI	WALL-MOUNTED FLOODLIGHT SIGN ILLUMINATION	TMS LIGHTING	D16-12LED-120V-HM-SLV	120	1	12 LED	12	SURFACE		
ES1	DECORATIVE BOLLARD FLAT TOP	BEACON	PB842-42-AC-24NB-55-3K-UNV-IND5-ENL-FLT-BZT	120	1	55 LED	55	SURFACE	42" OFH	
E62	GROUND MOUNTED FLOODLIGHT LANDSCAPE ILLUMINATION	TERON LIGHTING	LV060-L125-B230K-SHFBZ	120	1	125 LED	125	GROUND		
EPI	EXTERIOR PENDANT	CONTECH LIGHTING	CTL6-I-30K-MVD-P-X-M-CLR-BZ / C9KXX-BZ	120	1	10 LED	10	GROUND		
ES1	RECESSED STEP LIGHT	BEGA	22312-BRZ	120	1	14.1 LED	14.1	RECESSED	1'-0" BOF	
ES2	RECESSED STEP LIGHT	TERON	STB340I-BZ-HO-LED130W	120	1	3 LED	3	RECESSED	1'-0" BOF	
EN1	24" LINEAR ARCHITECTURAL WALL-MOUNT FIXTURE	TERON LIGHTING	VCY24-L18.0-120-DL-TE500-(STANDARD FINISH)-30K	120	1	20 LED	20	SURFACE	8'-0" BOF	
EN2	EXTERIOR WALL PACK	SPAULDING	TRP-30L3K-C95-3-U-DB	120	1	34 LED	34	SURFACE	10'-0" BOF	

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT

GENERAL NOTES:

- ALL FLUORESCENT LAMPS TO BE 3500K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UNLESS NOTED OTHERWISE.
- ALL REFLECTOR LAMPS TO BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UNLESS NOTED OTHERWISE.
- ALL FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A DISCONNECTING MEANS AS DESCRIBED IN NEC 410.10(B)(5).
- PROVIDE LUMINAIRES SHOWN AS SHADED WITH EMERGENCY BATTERY BALLASTS. EMERGENCY LUMINAIRES SHALL SENSE UN-SWITCHED POWER TO THE SPACE AND OPERATED AUTOMATICALLY UPON LOSS OF NORMAL POWER. ALL SHADED LUMINAIRES WITH 2FT AND 4FT LAMPS SHALL HAVE ONE (1) 90 MINUTE RATED, TWO LAMP, 1400 LUMEN EMERGENCY BALLAST. ALL SHADED LUMINAIRES WITH COMPACT FLUORESCENT LAMPS SHALL HAVE A FACTORY INSTALLED 90 MINUTE EMERGENCY BALLAST. ALL EMERGENCY LUMINAIRES SHALL HAVE REMOTE TEST SWITCHES AND VISIBLE INDICATING LIGHTS. CONNECT THE EMERGENCY BATTERY BALLAST TO THE UN-SWITCHED LEG OF THE LIGHTING CIRCUIT INDICATED.



1 | PHOTOMETRIC SITE PLAN
SHEET 15 | SCALE: 1"=20'-0"

REVISIONS		Description
By	Date	
AM	3/7/16	2ND SUBMITTAL TO CITY OF CENTENNIAL
AM	10/7/16	3RD SUBMITTAL TO CITY OF CENTENNIAL
AM	11/7/16	4TH SUBMITTAL TO CITY OF CENTENNIAL

DRAWN	KY
CHECKED	AKD
DESIGNED	AKD
FILENAME	

SOUTH SUBURBAN GOLF COURSE IMPROVEMENTS

SITE PHOTOMETRIC PLAN



3457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

JOB NO. 2015.01.010
SCALE AS INDICATED

DATE July 6, 2016

SHEETS SHEET

18 15

AE DESIGN
Integrated Lighting and Electrical Solutions
1900 Waver Street #200 | Denver, CO 80202 | 303.296.3034
aedesign-inc.com Project #3055.00

SITE PLAN

SOUTH SUBURBAN GOLF COURSE

IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

[illegible]

1	TYPE EP1
SHEET 16	SCALE: NTS

D16

TMSLIGHTING
ESTABLISHED 1922

Applications

The D16 Sign Light is ideal for illuminating signage, architectural highlights, objects of interest, and provides adequate night time security lighting.

Construction

Water tight, die-cast aluminum enclosure, with stainless steel hardware. The lens is formed from clear, tempered glass.

Lamp

The D16 is designed to operate with LED (120W max.), or incandescent (MR-16 50W max.).

LED Driver

The LED source is controlled by an advanced electronic driver that delivers consistent power (120V to 277V line voltage).

Transformer

The MR-16 lamp operates on 120VAC, and uses the 120V/277V-40-12V step-down transformer (supplied).

Finish

The lens is formed from 1/8" thick, clear, UV-stabilized, tempered glass.

Mounting

Mount on a flat surface, directly over a standard, 4" electrical junction box with holes 3/5 c.-c. See the installation instructions for details, and adhere to your local electrical code.

Available in several TMS standard, premium, polyester, powder-coated white or matte black finishes. See the [TMS Finishes Chart](#).

Complies with several TMS standard, premium, polyester, powder-coated white or matte black finishes. See the [TMS Finishes Chart](#).

Available in several TMS standard, premium, polyester, powder-coated white or matte black finishes. See the [TMS Finishes Chart](#).


Features

- Precision-machined from die-cast aluminum or stainless steel internal hardware
- Sealed and gasketed to keep in internal components intact
- Aiming made easy with 180° range of motion
- Flush lens reduces water pooling and mineral deposits
- Uses up to 60W MR-16 and 12W LED lamps, MR-16 lamps are available in a range of beam types, from narrow spot to wide flood; choose the right lamp to suit your application

2	TYPE EW1
SHEET 16	SCALE: NTS

[illegible]

5 | TYPE EDIT
SHEET 16 | SCALE: NTS



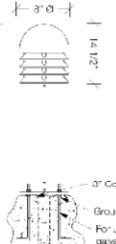
BEACON
www.beaconproducts.com

Type
Product Name
Part No.

Rev. 03/15/15
PS&B (LED)
DNF Palm Beach Garden

Temp	PS&B	A2	A3	PS&B-10	JA2	JA3	PS&B	OC&S-M	OC&S	JA&T	JB&T
Ordering	A	B	C	D	E	F	G	H	I	J	K

DETAILS



3" depth max.

Open under the fixture
Do not exceed 20" x 12" x 12" for
projection

A. MODEL		J. TOP OPTIONS	
PS&B2	DNF Palm Beach	RLT	flat top
A2	12" x 12"	DSAT	flat top
B	height	SS	Smooth Standard Finish
C	LED fixture	K. COLOR	
C1	LED fixture	BLT	Black (Black backing)
AC	acrylic clear	BMT	Black metal and white backing
AF	acrylic clear	MBT	matte for glass backed
C2	acrylic, black	BKT	Black backing
C3	acrylic, black	DBT	Dark bronze backed
C4	acrylic, black	GB	gray backed
C5	acrylic, black	GRB	Dark bronze backed gray backed
C6	acrylic, black	GRB	Dark bronze backed gray backed
C7	acrylic, black	GRB	Dark bronze backed gray backed
C8	acrylic, black	GRB	Dark bronze backed gray backed
C9	acrylic, black	GRB	Dark bronze backed gray backed
C10	acrylic, black	GRB	Dark bronze backed gray backed
C11	acrylic, black	GRB	Dark bronze backed gray backed
C12	acrylic, black	GRB	Dark bronze backed gray backed
C13	acrylic, black	GRB	Dark bronze backed gray backed
C14	acrylic, black	GRB	Dark bronze backed gray backed
C15	acrylic, black	GRB	Dark bronze backed gray backed
C16	acrylic, black	GRB	Dark bronze backed gray backed
C17	acrylic, black	GRB	Dark bronze backed gray backed
C18	acrylic, black	GRB	Dark bronze backed gray backed
C19	acrylic, black	GRB	Dark bronze backed gray backed
C20	acrylic, black	GRB	Dark bronze backed gray backed
C21	acrylic, black	GRB	Dark bronze backed gray backed
C22	acrylic, black	GRB	Dark bronze backed gray backed
C23	acrylic, black	GRB	Dark bronze backed gray backed
C24	acrylic, black	GRB	Dark bronze backed gray backed
C25	acrylic, black	GRB	Dark bronze backed gray backed
C26	acrylic, black	GRB	Dark bronze backed gray backed
C27	acrylic, black	GRB	Dark bronze backed gray backed
C28	acrylic, black	GRB	Dark bronze backed gray backed
C29	acrylic, black	GRB	Dark bronze backed gray backed
C30	acrylic, black	GRB	Dark bronze backed gray backed
C31	acrylic, black	GRB	Dark bronze backed gray backed
C32	acrylic, black	GRB	Dark bronze backed gray backed
C33	acrylic, black	GRB	Dark bronze backed gray backed
C34	acrylic, black	GRB	Dark bronze backed gray backed
C35	acrylic, black	GRB	Dark bronze backed gray backed
C36	acrylic, black	GRB	Dark bronze backed gray backed
C37	acrylic, black	GRB	Dark bronze backed gray backed
C38	acrylic, black	GRB	Dark bronze backed gray backed
C39	acrylic, black	GRB	Dark bronze backed gray backed
C40	acrylic, black	GRB	Dark bronze backed gray backed
C41	acrylic, black	GRB	Dark bronze backed gray backed
C42	acrylic, black	GRB	Dark bronze backed gray backed
C43	acrylic, black	GRB	Dark bronze backed gray backed
C44	acrylic, black	GRB	Dark bronze backed gray backed
C45	acrylic, black	GRB	Dark bronze backed gray backed
C46	acrylic, black	GRB	Dark bronze backed gray backed
C47	acrylic, black	GRB	Dark bronze backed gray backed
C48	acrylic, black	GRB	Dark bronze backed gray backed
C49	acrylic, black	GRB	Dark bronze backed gray backed
C50	acrylic, black	GRB	Dark bronze backed gray backed
C51	acrylic, black	GRB	Dark bronze backed gray backed
C52	acrylic, black	GRB	Dark bronze backed gray backed
C53	acrylic, black	GRB	Dark bronze backed gray backed
C54	acrylic, black	GRB	Dark bronze backed gray backed
C55	acrylic, black	GRB	Dark bronze backed gray backed
C56	acrylic, black	GRB	Dark bronze backed gray backed
C57	acrylic, black	GRB	Dark bronze backed gray backed
C58	acrylic, black	GRB	Dark bronze backed gray backed
C59	acrylic, black	GRB	Dark bronze backed gray backed

6 | TYPE EG1
SHEET 16 | SCALE: NTS

[illegible]

7 | TYPE EG2
SHEET 16 | SCALE: NTS

[illegible]

8 | TYPE EW1
SHEET 16 | SCALE: NTS

[illegible]

9 | TYPE EV
SHEET 16 | SCALE: NTS

AE DESIGN
Integrated Lighting and Electrical Solutions
1900 Wazee Street #350 | Denver, CO 80202 | 303.296.3033
aedesign-inc.com Project #: 3055.00

**SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS**

LIGHTING SPECIFICATIONS



BARKE
RINKE
SEACAT
ARCHITECTURE

3457 RINGSBY COURT,
UNIT 200
DENVER, CO 80216
(303) 455 - 1366

JOB NO. 2015017020

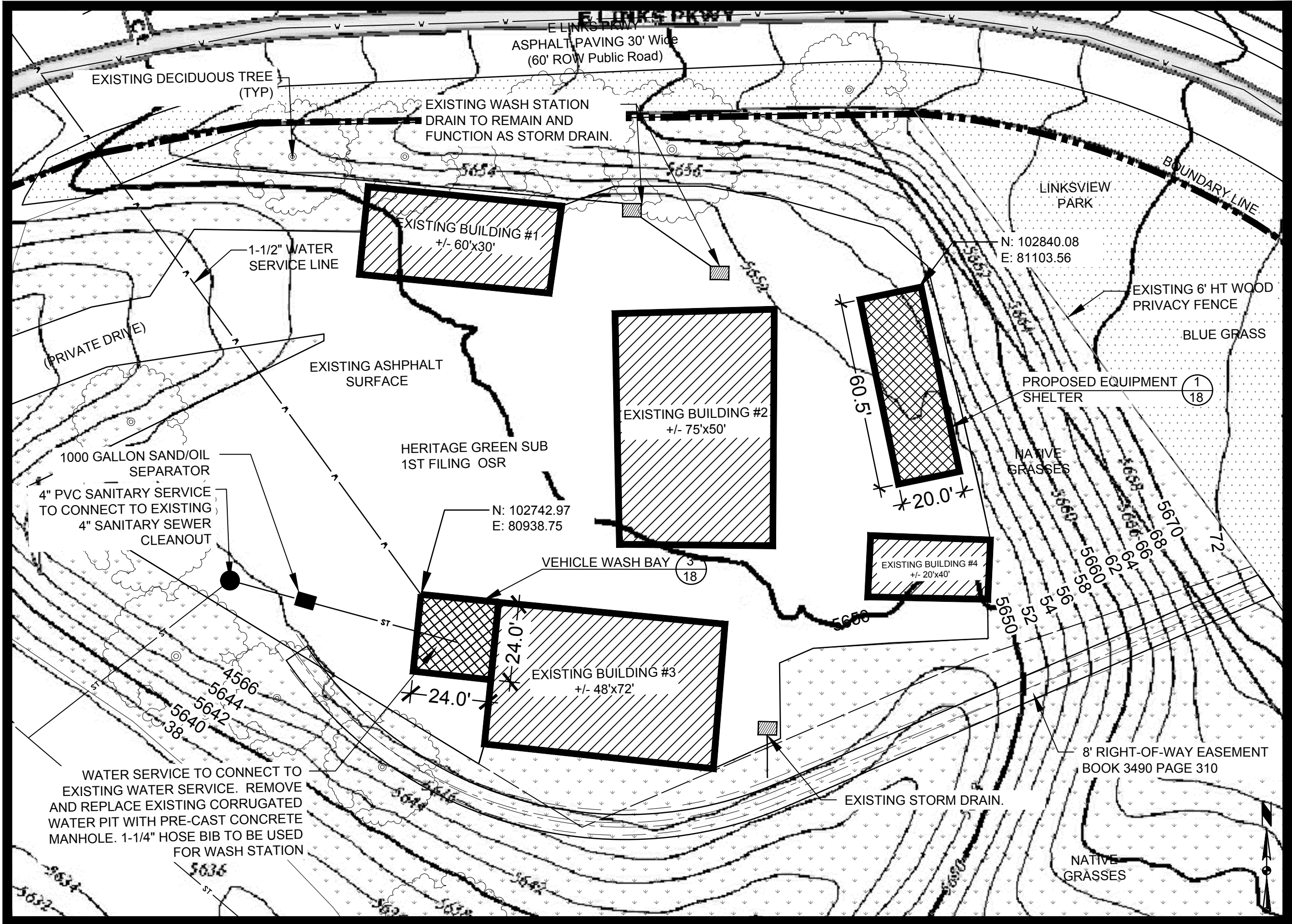
SCALE *AS INDICATE*DATE July 6, 2016

SHEETS	SHEET
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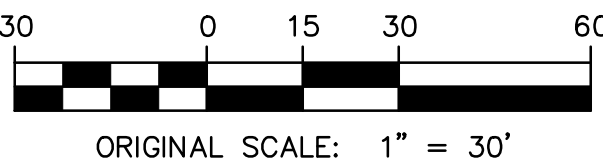
18 | 10

SITE PLAN
SOUTH SUBURBAN GOLF COURSE

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



MAINTENANCE YARD SITE PLAN



EQUIPMENT SHELTER NOTES:

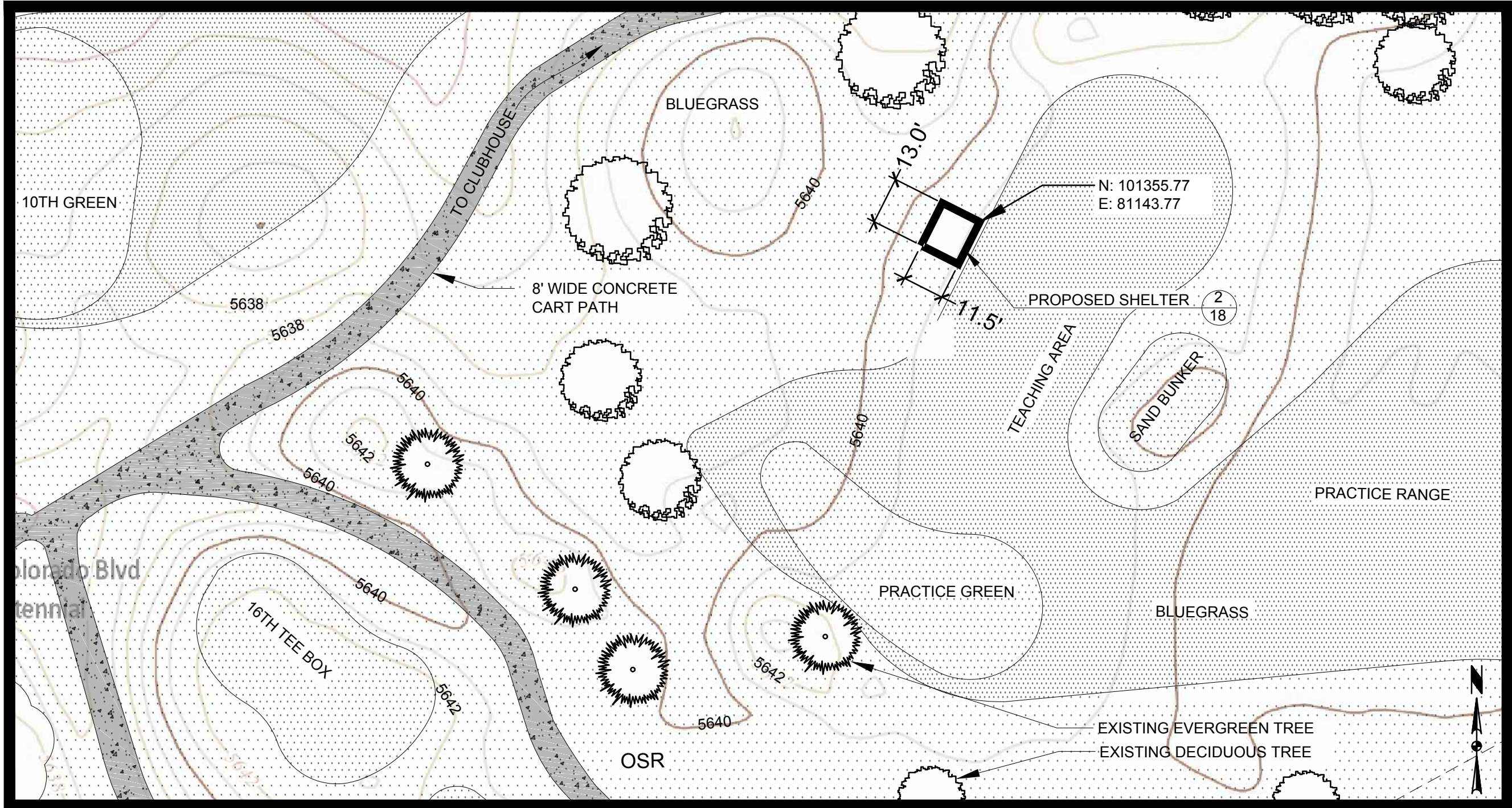
1. THE PROPOSED **EQUIPMENT SHELTER** WILL BE A 60.5' LONG BY 20' WIDE BY 8.83' HIGH LOCATED INSIDE THE EXISTING MAINTENANCE YARD. THE EQUIPMENT SHELTER WILL PROVIDE PROTECTION FROM THE ELEMENTS FOR GOLF COURSE MAINTENANCE EQUIPMENT. IT SHALL BE A SEMI-CUSTOM PREFABRICATED METAL STRUCTURE WITH A SILVER GALVALUME FINISH. SEE EQUIPMENT SHELTER DETAIL ON SHEET 18.
2. SETBACKS TO THE PROPOSED EQUIPMENT SHELTER FROM ADJACENT PROPERTY LINES ARE AS FOLLOWS:
 - NORTH: EQUIPMENT SHELTER = 65',
 - SOUTH: EQUIPMENT SHELTER = 2865',
 - EAST: EQUIPMENT SHELTER = 180',
 - WEST: EQUIPMENT SHELTER = 390',

VEHICLE WASH BAY NOTES:

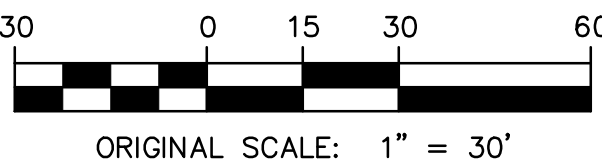
1. THE PROPOSED **VEHICLE WASH BAY, AN ADDITION TO EXISTING BUILDING #3 IN THE MAINTENANCE YARD**, WILL BE A 24' LONG BY 24' WIDE. THE BUILDING ADDITION WILL PROVIDE AN AREA TO WASH DOWN GOLF COURSE MAINTENANCE EQUIPMENT AND GOLF CARTS. SEE BUILDING ADDITION DETAIL ON SHEET 18.
2. SETBACKS TO THE PROPOSED VEHICLE WASH BAY FROM ADJACENT PROPERTY LINES ARE AS FOLLOWS:
 - NORTH: WASH BAY= 171',
 - SOUTH: WASH BAY = 2706',
 - EAST: WASH BAY = 632',
 - WEST: WASH BAY = 425',

SITE PLAN NOTES:

1. NO EXISTING TREES SHALL BE REMOVED OR RELOCATED WITH THE WORK SHOWN ON THIS SHEET.
2. THE TWO-FOOT CONTOURS SHOWN ON THE EQUIPMENT SITE PLANS ARE USED FROM THE ARAPAHOE COUNTY WEB SITE 'ARAPAMAP', ONE-FOOT CONTOURS FROM MARTIN / MARTIN SURVEY 2016. GIS LIDAR TOPOGRAPHY CAPTURE DONE IN 2008.
3. NO NEW UTILITIES WILL BE PROVIDED TO PROPOSED STRUCTURES. EXISTING UTILITIES TO CLUBHOUSE & CART BARN TO REMAIN.



PRACTICE AREA SHELTER SITE PLAN

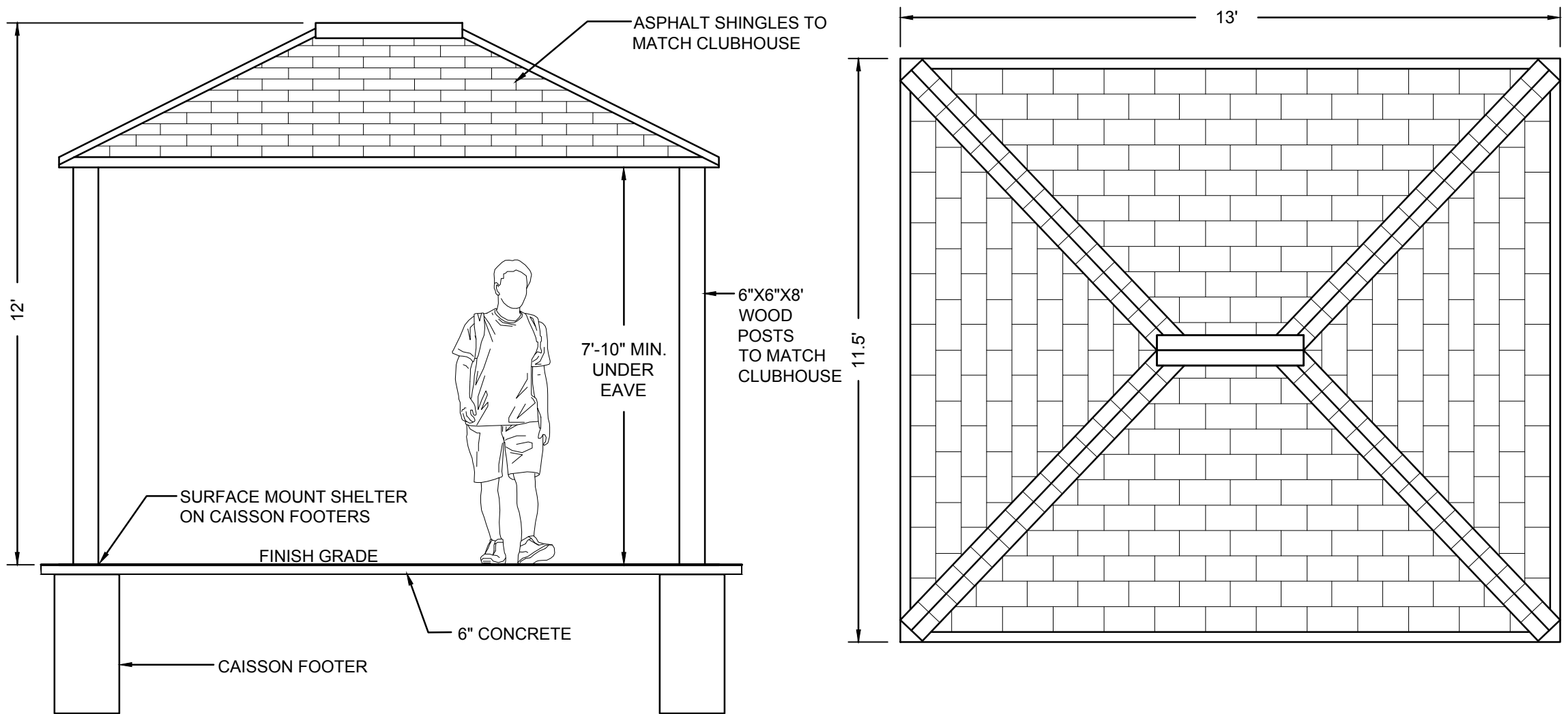
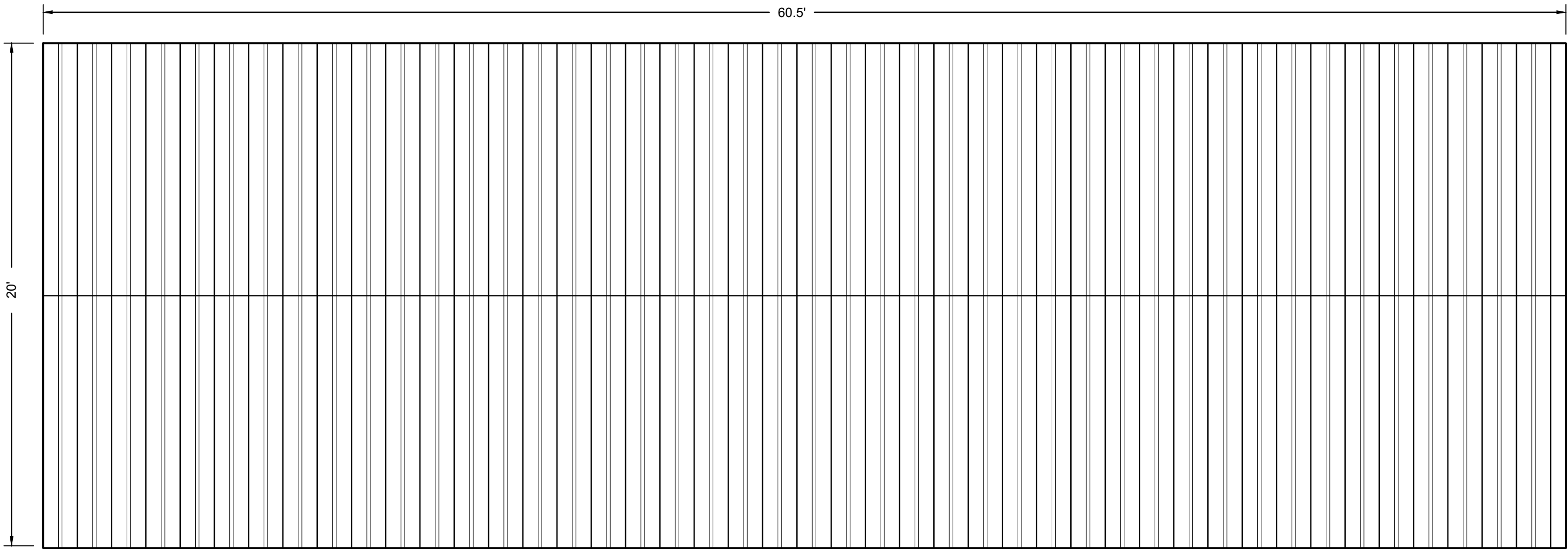


PRACTICE AREA NOTES:

1. THE PROPOSED GOLF COURSE **PRACTICE SHELTER** WILL BE A 13' LONG BY 11.5' WIDE BY 12' HIGH PARK SHELTER AND LOCATED NEAR THE EXISTING PRACTICE AREA. IT WILL BE A CEDAR WOOD STRUCTURE WITH A DIMENSIONAL ASPHALT SHINGLE ROOF. SEE PRACTICE SHELTER DETAIL ON SHEET 18.
2. SETBACKS TO THE PROPOSED IMPROVEMENTS FROM ADJACENT PROPERTY LINES ARE AS FOLLOWS:
 - NORTH: PRACTICE SHELTER = 1550'
 - SOUTH: PRACTICE SHELTER = 1410'
 - EAST: PRACTICE SHELTER = 2040'
 - WEST: PRACTICE SHELTER = 790'

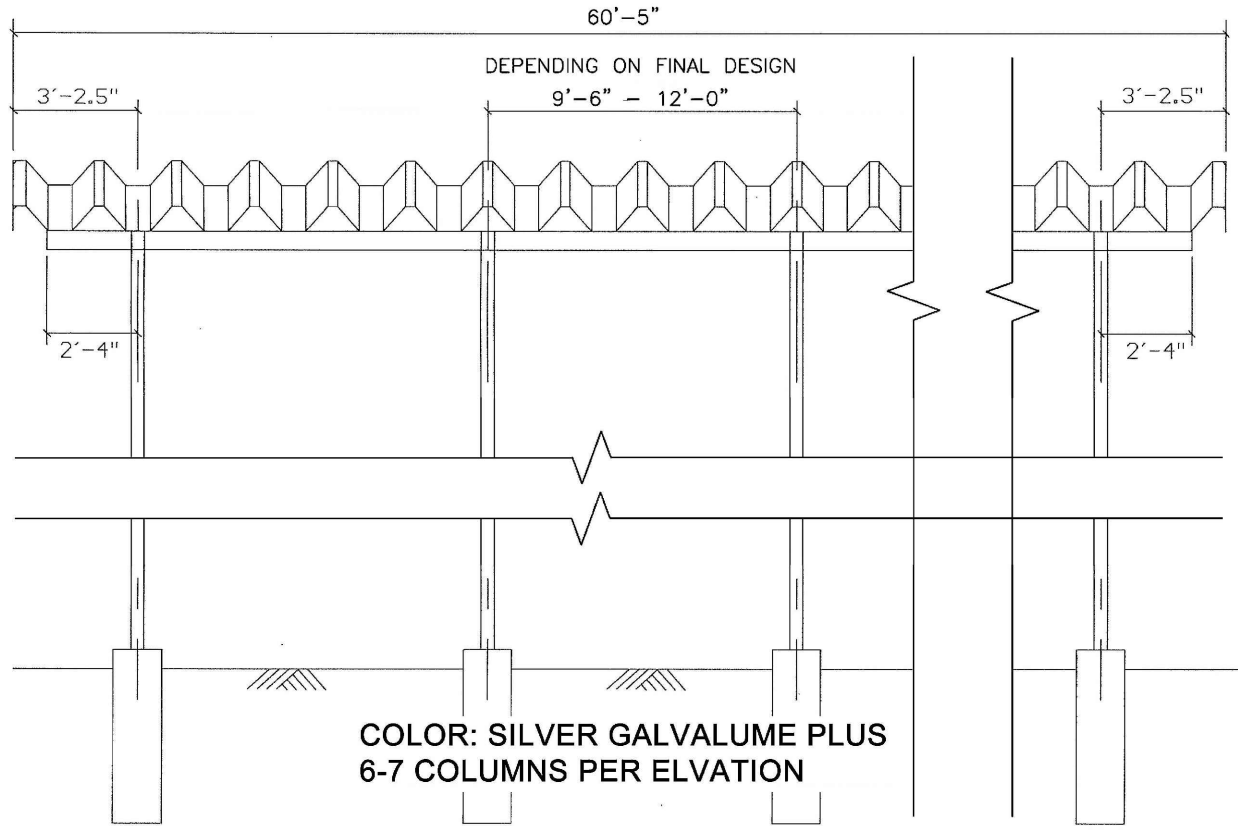
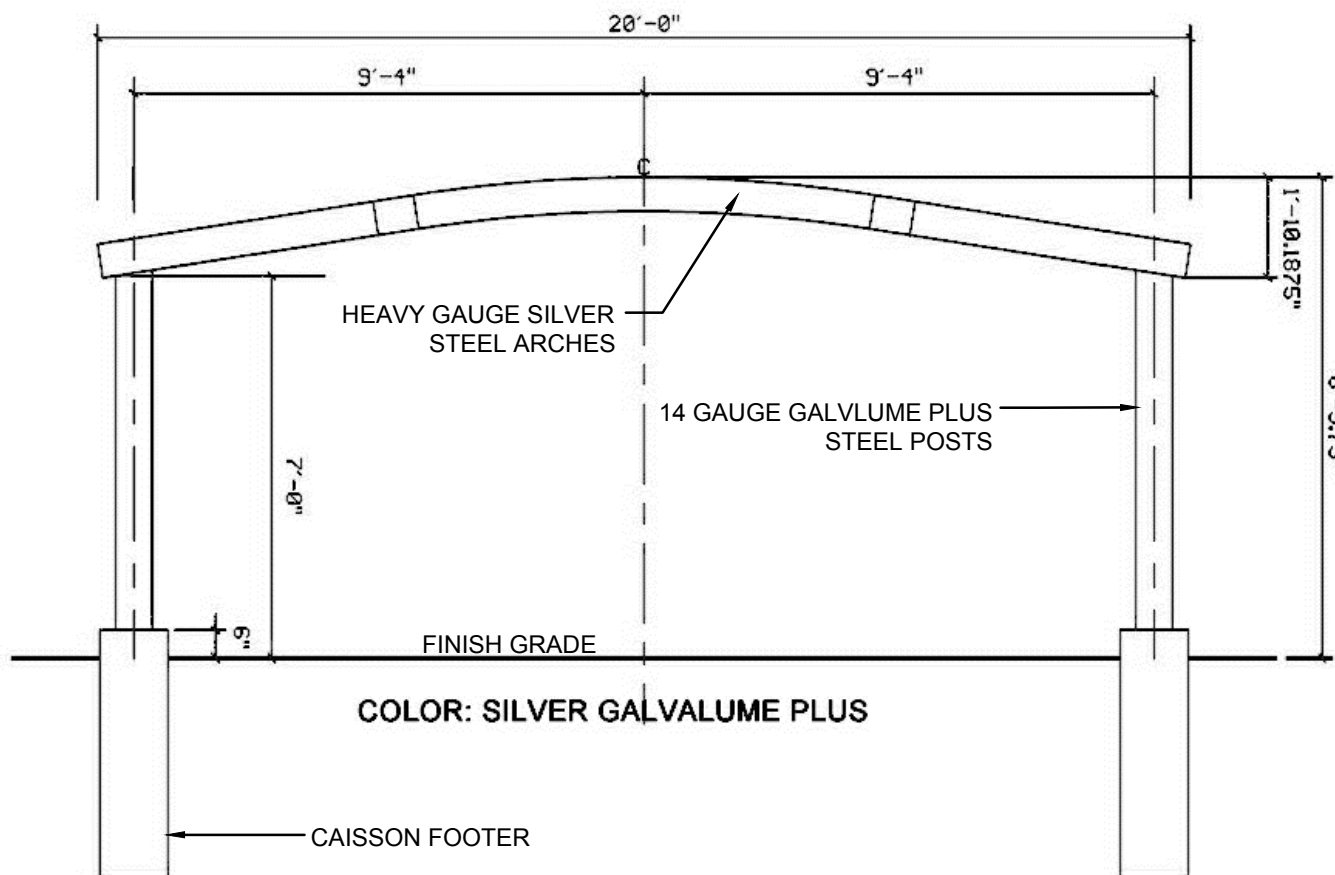
SITE PLAN
SOUTH SUBURBAN GOLF COURSE
IMPROVEMENTS

A PART OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



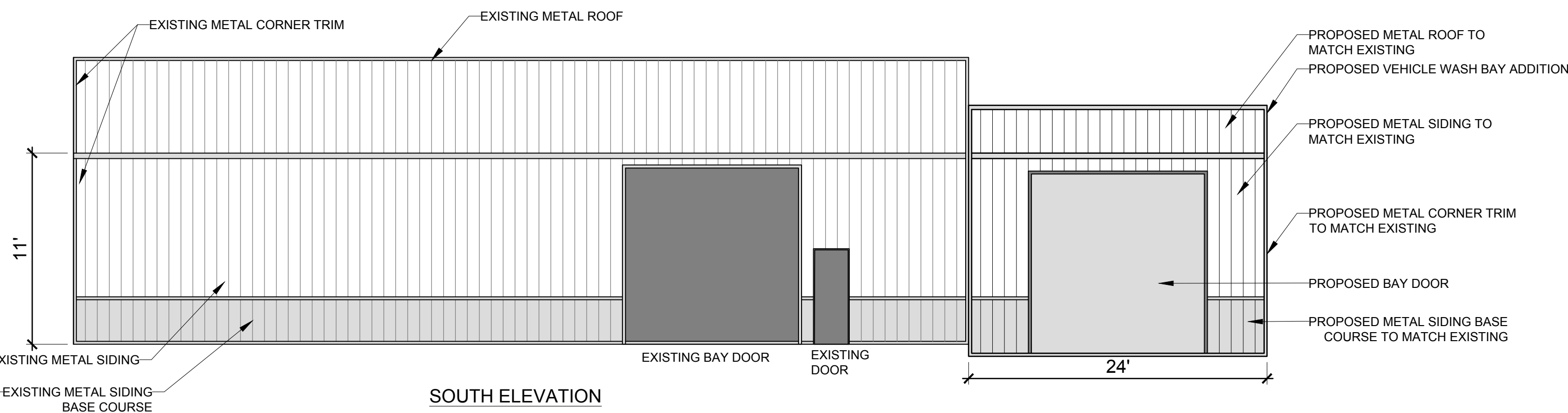
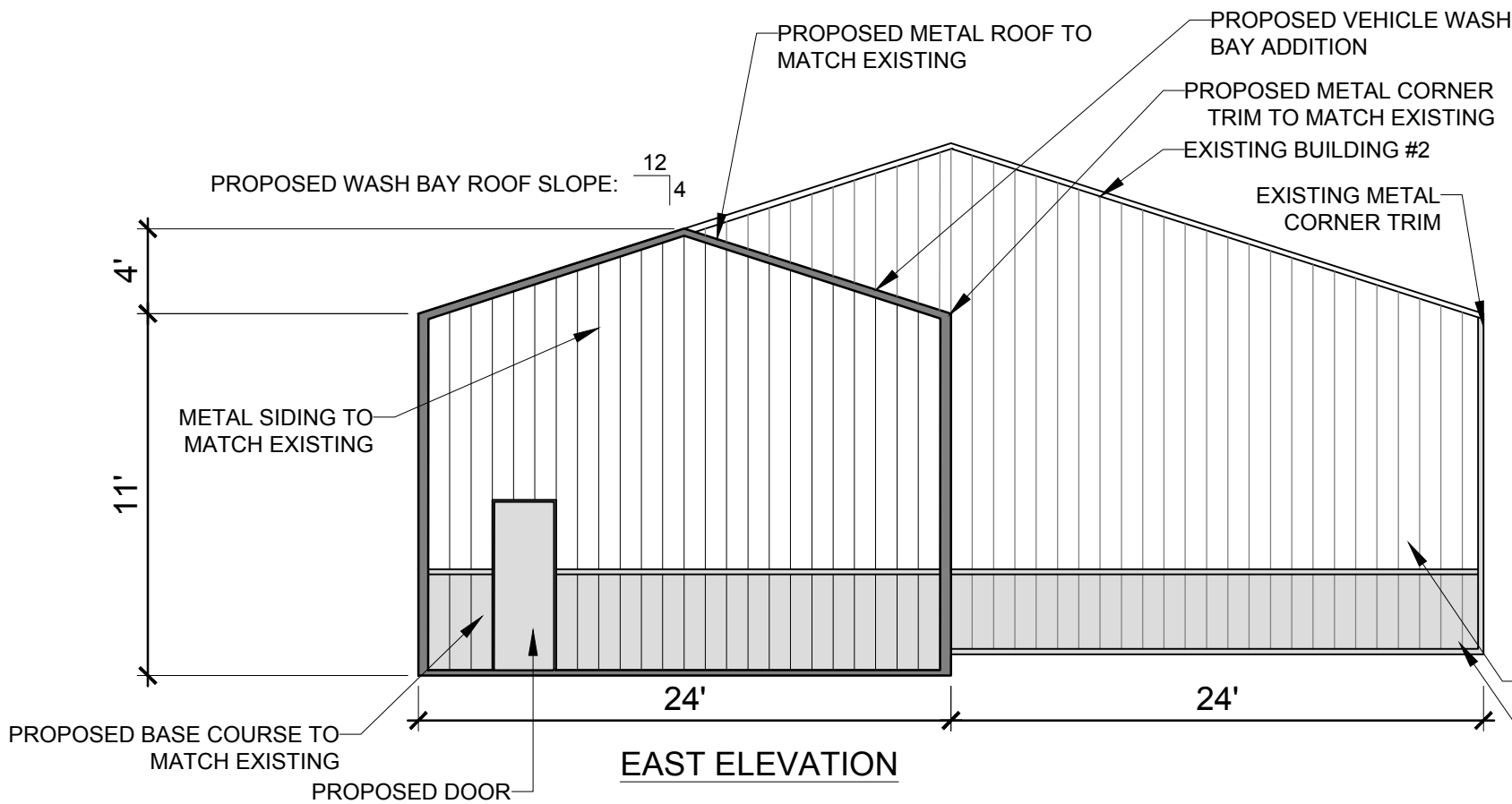
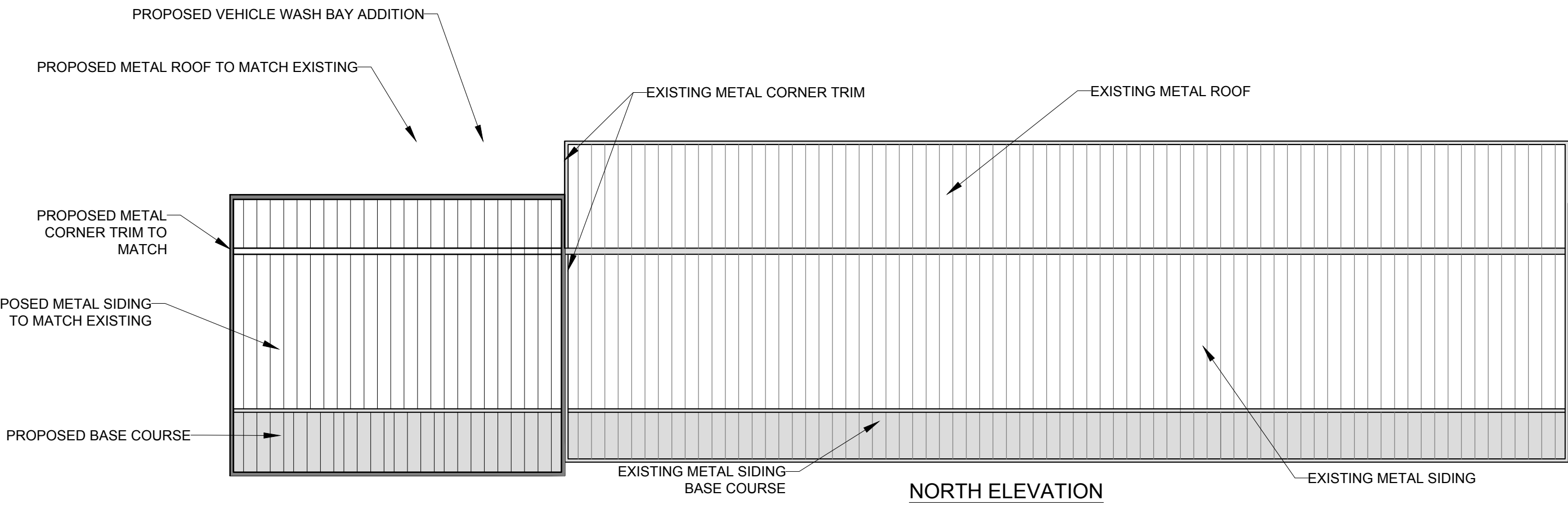
NORTH & SOUTH ELEVATION

EAST & WEST ELEVATION



1 EQUIPMENT SHELTER DETAIL
04 Not to scale

2 PRACTICE AREA SHELTER DETAIL
04 Not to scale



3 VEHICLE WASH BAY
04 Not to scale